

# RE-ROOFING AT NORTHSIDE HOMES

for the  
**PALATKA HOUSING AUTHORITY**  
 PALATKA, FLORIDA 32177



## BOARD OF COMMISSIONERS

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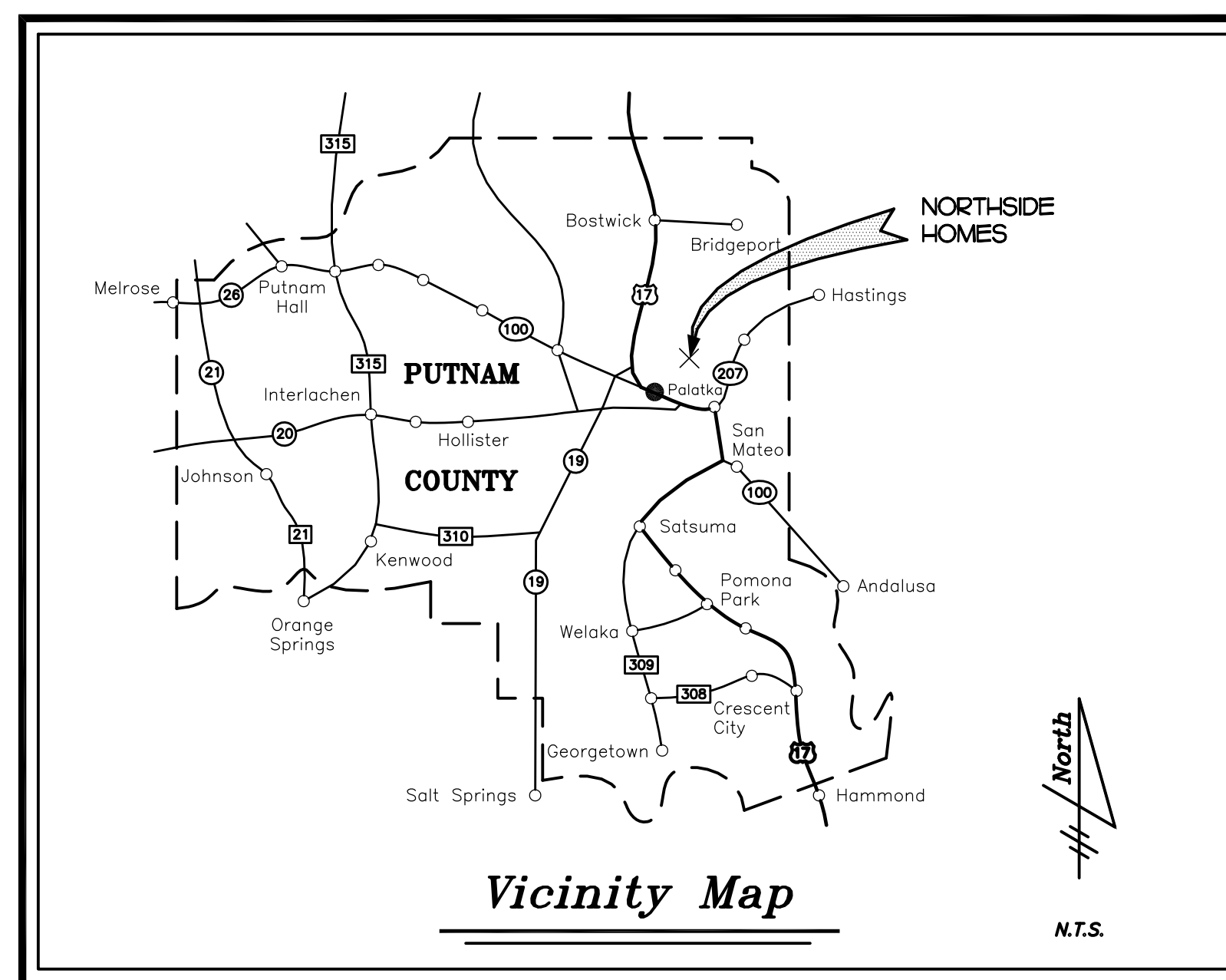
**NORTHSIDE HOMES  
 PARCEL IDENTIFICATION NUMBERS:**

- 37-10-26-6850-3430-0000
- 42-10-27-6850-3210-0000
- 42-10-27-6850-3220-0010
- 42-10-27-6850-3100-0010
- 42-10-27-6850-2880-0300
- 42-10-27-6850-2890-0300
- 42-10-27-6850-2710-0100
- 42-10-27-6850-3110-0010
- 42-10-27-6850-2870-0100
- 42-10-27-6850-3200-0000
- 42-10-27-6850-3120-0010
- 42-10-27-6850-2860-0800
- 42-10-27-6850-3130-0110
- 42-10-27-6850-2850-1100

**OWNER:**  
 PALATKA HOUSING AUTHORITY  
 P.O. BOX 1277  
 PALATKA, FL 32178

**SITE ADDRESS:**  
 400 N 16th St  
 PALATKA, FL 32177

- SCOPE OF WORK:**
- REMOVE EXISTING SHINGLE ROOF AND UNDERLAYMENT
  - REPAIR DAMAGED ROOF SHEATHING
  - INSTALL NEW METAL ROOFING SYSTEM, UNDERLAYMENT AND GUTTERS
  - PRESSURE WASH EXISTING STRUCTURE



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CS	COVER SHEET
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A-2.0	DETAILS AND NOTES

**STATEMENT OF COMPLIANCE:**  
 To the best of my knowledge, these construction documents are in compliance with criteria set forth in the 8th edition of the Florida Building Code and Florida Statutes.

REVISION	BY



CRG ARCHITECTS  
 / PALATKA, INC.  
 216A ST. JOHNS AVE.  
 PALATKA, FL 32177  
 A A 0 0 2 6 0 4  
 P. 386-325-0213  
 F. 386-328-1401

BID SET

COVER SHEET

RE-ROOFING AT NORTHSIDE HOMES  
 PALATKA HOUSING AUTHORITY  
 PALATKA, FL.

Seal/Signature:

Date: 1-6-25  
 Scale: AS NOTED  
 Drawn: JCK  
 Job: 06203  
 Sheet:



MATERIAL LEGEND

Table with 2 columns: Symbol and Description. Includes PARTITION, PARTITION WALL WITH SOUND BATTS, BATT INSULATION, RIGID INSULATION, FINISHED WOOD, DIMENSIONAL LUMBER, WOOD BLOCKING, EARTH, CM.U. WALL, CAST-IN-PLACE CONCRETE, and REINFORCED VERTICAL CMU CELL.

GENERAL NOTES

1. ALL WORK AND IMPROVEMENTS ARE CONFINED TO THE AREAS INDICATED IN THESE DRAWINGS. ALL WORK WILL BE INSTALLED BY A LICENSED CONTRACTOR AND THE APPROPRIATE LICENSED SUBCONTRACTORS IN STRICT ACCORDANCE WITH ALL GOVERNING CODES.
2. ALL WORK IS TO BE EXECUTED UNDER DIRECT SUPERVISION OF A CERTIFIED GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, DIMENSIONS, AND COORDINATE ALL OPENINGS AND INSERTS WITH THE APPROPRIATE SUBCONTRACTORS. HANGING DEVICES SHALL BE INSTALLED SO AS NOT TO OVERLOAD THE ASSEMBLY OR ANY OTHER STRUCTURAL COMPONENTS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING, ITS COMPONENTS, AND ALL PRESENT ON THE SITE.
DIMENSIONS: ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR TO INSURE THE PROPER INTERFACING WITH EXISTING CONDITIONS. IF ANY CONFLICT OCCURS BETWEEN ANY PART OF THESE DOCUMENTS THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY. IF THE ARCHITECT IS NOT AFFORDED THE OPPORTUNITY TO CLARIFY OR MODIFY ANY CONFLICTS, THE CONTRACTOR ASSUMES RESPONSIBILITY FOR RESOLVING ANY PROBLEMS WHICH MAY HAVE DEVELOPED.
RESPONSIBILITY: IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES BUT IS NOT LIMITED TO THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYRS, OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEANS AND METHODS REQUIRED TO ACHIEVE THE INTENT OF THESE DRAWINGS.
CONFLICTS: WHERE CONFLICTS OCCUR BETWEEN THE SPECIFICATIONS, REFERENCED CODES, NOTES AND WORKING DRAWINGS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS FOR DIRECTION.
COORDINATION: GENERAL CONTRACTOR SHALL COORDINATE ALL OPENINGS AND INSERTS WITH THE APPROPRIATE SUBCONTRACTORS ACCORDING TO THE PLANS. SEE SHOP DRAWINGS FOR ALL SUPPORTING STRUCTURES AND INSERTS REQUIRED BY THE VARIOUS BUILDING SYSTEMS. ALL SUPPORT STRUCTURES AND HANGING DEVICES SHALL BE INSTALLED SO AS NOT TO OVERLOAD THE STRUCTURE OR ANY STRUCTURAL COMPONENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE AND ITS OCCUPANTS.
SUBMITTALS: THE REVIEW OF VARIOUS SUBMITTALS BY THE VARIOUS SUBCONTRACTORS AND PRE-ENGINEERED SYSTEMS ENGINEER OF RECORD WILL BE TO: VERIFY THAT THE SUBMITTALS HAVE BEEN FURNISHED AND PREPARED BY A QUALIFIED PERSON, THAT THE PREPARER HAS UNDERSTOOD THE INTENT OF THE DESIGN AND THE CONSTRUCTION DOCUMENTS. NO DETAILED REVIEW WILL BE MADE BY THE ARCHITECT AND ENGINEER. THE GENERAL CONTRACTOR SHALL CHECK AND STAMP THE SHOP DRAWINGS INDICATING THAT A THOROUGH REVIEW WAS CONDUCTED AND STAMPED FOR CONFORMANCE PRIOR TO FORWARDING THEM TO THE ARCHITECT. THE ARCHITECT / ENGINEER WILL REVIEW THE SHOP DRAWING SUBMITTAL ONCE AND IF FOUND NOT TO BE IN CONFORMANCE, THE SUBMITTAL WILL BE REJECTED. ADDITIONAL REVIEWS CAN BE PERFORMED FOR THE COST BURDEN DIRECTLY RELATED TO THE ADDITIONAL REVIEW. FOR COLOR SELECTION, THE CONTRACTOR IS TO SUBMIT ALL COLOR RELATED PRODUCTS AT ONE TIME TO INSURE CONTINUITY IN THE OVERALL COLOR SCHEME USED.

GRAPHIC SYMBOLS

Table with 3 columns: Symbol, Description, and Section/Detail Target. Includes symbols for DOOR MARK, WALL MARK, WINDOW MARK, ROOM SPACE NUMBER, EXIT LIGHT (ILLUMINATED), NORTH ARROW (TRUE), DETAIL NO. SHEET NO., ELEVATION NO. SHEET NO., SECTION NO. SHEET NO., and CROSS OR BUILDING SECTION.

LIST OF ABBREVIATIONS (ALPHABETIZED)

Large table listing abbreviations in columns: A.B. (Anchor Bolt), A.C. (Access), A.C.U.S. (Acoustical), A/C (Air Conditioning), A.D. (Addendum), ADH (Adhesive), ADJ (Adjustable), A.F.F. (Above Finished Floor), AGG (Aggregate), A.H.U. (Air Handling Unit), ALLUM (Aluminum), ALT (Alternate), AMP (Ampere), ANC (Anchor), ANCH (Anchor), ANCHOR (Anchor), ANCHORAGE (Anchor), ANGLE (Angle), ANOD (Anodized), A.P. (Access Panel), APPROXIMATE (Approximate), ARCH-ARCHITECTURAL (Architectural), ASB (Asbestos), ASPH (Asphalt), ATTN (Attention), AT (Automatic), AUTO (Automatic), BAL (Balance), BATT (Batten), BRG (Bearing), BD (Board), BEL (Below), BETN (Between), BIT (Bit), B.J. (Bar Joint), B.J.T. (Bed Joint), BLDG (Building), BLK (Block), BLKG (Block), BM (Beam), B.M. (Beam Mark), B.M.U. (Brick Masonry Unit), BOTT (Bottom), BRG (Bearing), BRG (Bearing), BRG (Bearing), BRK (Brick), BS (Both Sides), B.W. (Both Ways), BSMT (Basement), B.T.L. (British Thermal Unit), BUR (Built-Up Roof), CAB (Cabinet), CAP (Capacity), C.B. (Catch Basin), CER (Ceramic), CEM (Cement), C.F.L. (Counterflashing), C.F. (Cubic Feet), C.G. (Corner Guard), CHAM (Chamfer), CHG (Change), CIR (Circle), C.J. (Construction Joint), C.J.T. (Control Joint), CK (Calking), CL (Center Line), CL (Chain Link), CLG (Ceiling), CLOS (Close), CLR (Clear), C.M.T. (Ceramic Mosaic Tile), CMU (Concrete Masonry Unit), COL (Column), CONC (Concrete), CONC. BLK (Concrete Block), CONC. FL (Concrete Floor), CONDUIT (Conduit), CONN (Connection), CONST (Construction), CONT (Continuous), CONTR (Contract), CORR (Corridor), CRT (Caret), CSK (Countersink), CSMT (Casement), C.ST. (Cast Stone), C.T. (Ceramic Tile), C.T. (Counter), CTR (Cold Water), C.W. (Cubic Feet), C.F.T. (Cubic Feet), C.Y.D. (Cubic Yard), D. (Drain), D.A. (Double Acting), DBL (Double), DEMO (Demolish), DEMOLITION (Demolition), DEP (Depressed), DEPT (Department), DET (Detail), D.F. (Drinking Fountain), D.H. (Double Hung), DIA. or φ (Diameter), DIAG (Diagonal), DISP (Dispenser), DIFF (Diffuser), DIM (Dimension), DIR (Directory), DIV (Division), DL (Dead Load), DN (Down), DO (Ditto), DP (Dampproofing), D.P.M. (Dampproofing Membrane), DR (Door), D.S. (Downspout), DTL (Detail), DW (Drywall), D.W. (Dumbwaiter), D.W. (Dishwasher), DWG (Drawing), DWR (Drawer), E. (East), EA (Each), EB (Expansion Joint), E.A.C. (Each Face), E.J. (Expansion Joint), ELEV (Elevation), ELV (Elevator), ELEC (Electric), EMER (Emergency), ENC (Enclosure), ENGR (Engineer), ENT (Entrance), EP (Electric Panelboard), EQ (Equal), EQUIP (Equipment), EST (Estimate), E.W. (Each Way), E.W.C. (Electric Water Cooler), EXCA (Excavate), EXH (Exhaust), EXST (Existing), EXP (Exposed), EXT (Exterior), FAB (Fabricate), FA (Fire Alarm), FB (Face Brick), F.B.C. (Florida Building Code), F.B.O. (Finished by Others), F.D. (Floor Drain), FE (Fire Extinguisher), FF (Factory Finished), F.E.C. (Fire Extinguisher Cabinet), FF.E. (Finished Floor Elevation), F.F.L. (Finished Floor Line), F.G. (Fixed Glass), FGL (Fiberglass), FIG (Figure), FIN (Finished), FIXT (Fixture), F.J. (Flush Joint), FL (Flashing), FLR (Floor), FLUR (Fluorescent), FND (Foundation), FP (Fireproof), FPL (Fireplace), FR (Frame), F.S. (Full Size), FT (Foot), FTG (Footing), FLR (Furred), FUT (Future), F.V. (Field Verify), G. (Gas), GAL (Gallon), GALV (Galvanized), GB (Grab Bar), GEN (General Contractor), GR (Grade), G.I.T. (Glazed Interior Tile), GKT (Gasket), GL (Glass), GLAZ (Glazing), GOVT (Government), GP (Galvanized Pipe), GRN (Grantee), G.R.V. (Gravity Roof Ventilator), G.S. (Gravel Stop), GT (GROUT), G.W.B./G.P. (Gypsum Wallboard), H (High), H.B. (Hose Bib), H.C. (Hollow Core or Handicapped), H.D. (Heavy Duty), HDW (Hardware), H.F.E. (Halon Fire Extinguisher), H.M. (Hollow Metal), HOR (Horizontal), H.P. (Horsepower), HT (Height), HGT (Heating), HVAC (Heating, Ventilating and Air Conditioning), H.W. (Hot Water), H.W.D. (Hardwood), I.D. (Inside Diameter), ILK (Interlock), IN (Inches), INCL (Include), INSL (Insulation), INT (Interior), INV (Invert), JAN (Janitor), JB (Junction Box), JF (Joint Filler), JS (Joint Sealant), JT (Joint), KD (Knock Down), KO (Knock Out), K.S. (Knee Space), LAB (Laboratory), LAM (Laminated), LAM. PLAS (Laminated Plastic), LAV (Lavatory), LG (Long), LH (Left Hand), LINO (Linoleum), LNF. FT. (Lineal Feet), LKR (Locker), LL (Live Load), LL.H. (Long Leg Horizontal), LL.V. (Long Leg Vertical), LMS (Limestone), LT (Light), L.T. (Liquid Tile), LTL (Lintel), LVR (Louver), LW (Lightweight), LW.C. (Lightweight Concrete), M (Meter), MACH (Machine), MAR.T. (Marble Threshold), MAS (Masonry), MAX (Maximum), MB (Marker Board), MBR (Member), M.C. (Medicine Cabinet), MED (Medium), METL (Metal), MECH (Mechanical), MFR (Manufacturer), M.H. (Mantle), M.H.O. (Magnetic Hold Open), MN (Minimum), MR (Mirror), MISC (Miscellaneous), MLD (Molding), M.O. (Masonry Opening), MOD (Modular), MOV (Movable), MR (Moister Resistant), MT (Mounted), MTL (Material), MULL (Mullion), MICRO (Microwave), N (North), N/A (Not Applicable), NAT (Natural), NIC (Not Included in This Contract), NO (Number), NOM (Nominal), NR (Noise Reduction), N.T.S. (Not To Scale), OA (Overall), O.A. (Outside Air), OBS (Obscure), OC (On Center), O.D. (Outside Diameter), OFF (Office), OH (Overhead), O.H. (Overhanging), O.J. (Open-Web Joist), OPN (Opening), OPH (Opposite Hand), O.P.P. (Opposite), P.C.C. (Precast Concrete), PEDEST (Pedestal), PERFOR (Perforate), PERI (Perimeter), PERM (Permanent), PERP (Perpendicular), P.F.L. (Pounds Per Lineal Foot), PFD (Polished), PFG (Plate Glass), PK (Parking), PL (Plate), P.L. (Perforated Line), PLAS (Plaster), PNL (Panel), PR (Par), PRES (Pressure), PRE-ENG (Pre-Engineered), PREFAB (Pre-fabricated), PREP (Prepare), PROJ (Projector), P.S.C. (Prestressed Concrete), PSF (Pound Per Square Foot), PSQ (Pounds Per Square Inch), P.T. (Pressure Treated), P.T.D. (Paper Towel Dispenser), PTN (Partition), PWD (Plywood), P.V.C. (Polyvinyl Chloride), Q.T. (Quarry Tile), QTR (Quarter), QTY (Quantity), R (Riser), R.A. (Return Air), RAD (Radius), R.C.P. (Reinforced Concrete Pipe), RD (Roof Drain), RECP (Receptacle), RECT (Rectangular), REF (Reference), REFR (Refrigerator), REFL (Reflective), RES (Resistor), RENF (Reinforced), REQ (Required), RES (Resilient), RET (Return), REV (Revision or Revised), RFG (Roofing), RFL (Roof Hatch), RH (Right Handed), RL (Rain Leader), ROOM (Room), RO (Rough Opening), R.O.W. (Right of Way), RVS (Reverse), S (South), S4S (Surfaced Four Sides), SAN (Standard), S.B.C. (Southern Building Code), SC (Solid Core), S.C. (Sealed Concrete), SCH (Sched), SON (Screen), S.D. (Storm Drain), SEC (Section), SERV (Service), SGL (Single), SH (Shelf), SH-T (Sheet), SH-TL (Sheet), S-EATH (Seating), SIM (Similar), S.J. (Saw Joint), S.L. (Noise Reduction), S.L. (Not To Scale), SPEC (Specification), SPK (Speaker), SO (Square), SQ. FT. (Square Feet), SS (Service Sink), S.S. (Stainless Steel), STD (Steel), STD (Standard), STO (Storage), STR (Structural), SUB (Subcontractor), SUSP (Suspended), SYM (Symmetrical), SYS (System), T (Thread), T.B. (Track Board), TERR (Terra Cotta), TEL (Telephone), TERR (Terrace), T.G. (Tempered Glass), T&G ( Tongue & Groove), T&B (Top and Bottom), THK (Thickness), THRESH (Threshold), THRU (Through), T.J. (Tooled Joint), TKB (Trackboard), T.O.W. (Top of Wall), TPTN (Toilet Partition), T.P.D. (Toilet Paper Dispenser), T.S. (Tubular Steel), TV (Television), TYP (Typical), V (Vinyl), VAC (Vacuum), VAR (Varnish), V.C.T. (Vinyl Composition Tile), VERT (Vertical), VEST (Vestibule), VOL (Volume), VENT (Ventilation), W (West), W/ (With), W.B. (Wood Base), W.C. (Water Closet), WOOD (Wood), W/G (Wire Glass), W.H. (Water Heater), WDW (Window), W/I (Wrought Iron), W/M (Wire Mesh), W/O (Without), W.P. (Waterproof), W.P. (Right Handed), W.P. (Water Repellent), WT (Weight), W.W.F. (Welded Wire Fabric), W.W.M. (Welded Wire Mesh)

REVISION BY



CRG ARCHITECTS / PALATKA, INC. 216A ST. JOHNS AVE. PALATKA, FL 32177 A A 0 0 0 2 6 0 4 p. 386-325-0213 f. 386-328-1401

BID SET

ABBREVIATIONS AND LEGENDS AND SITE MAPS

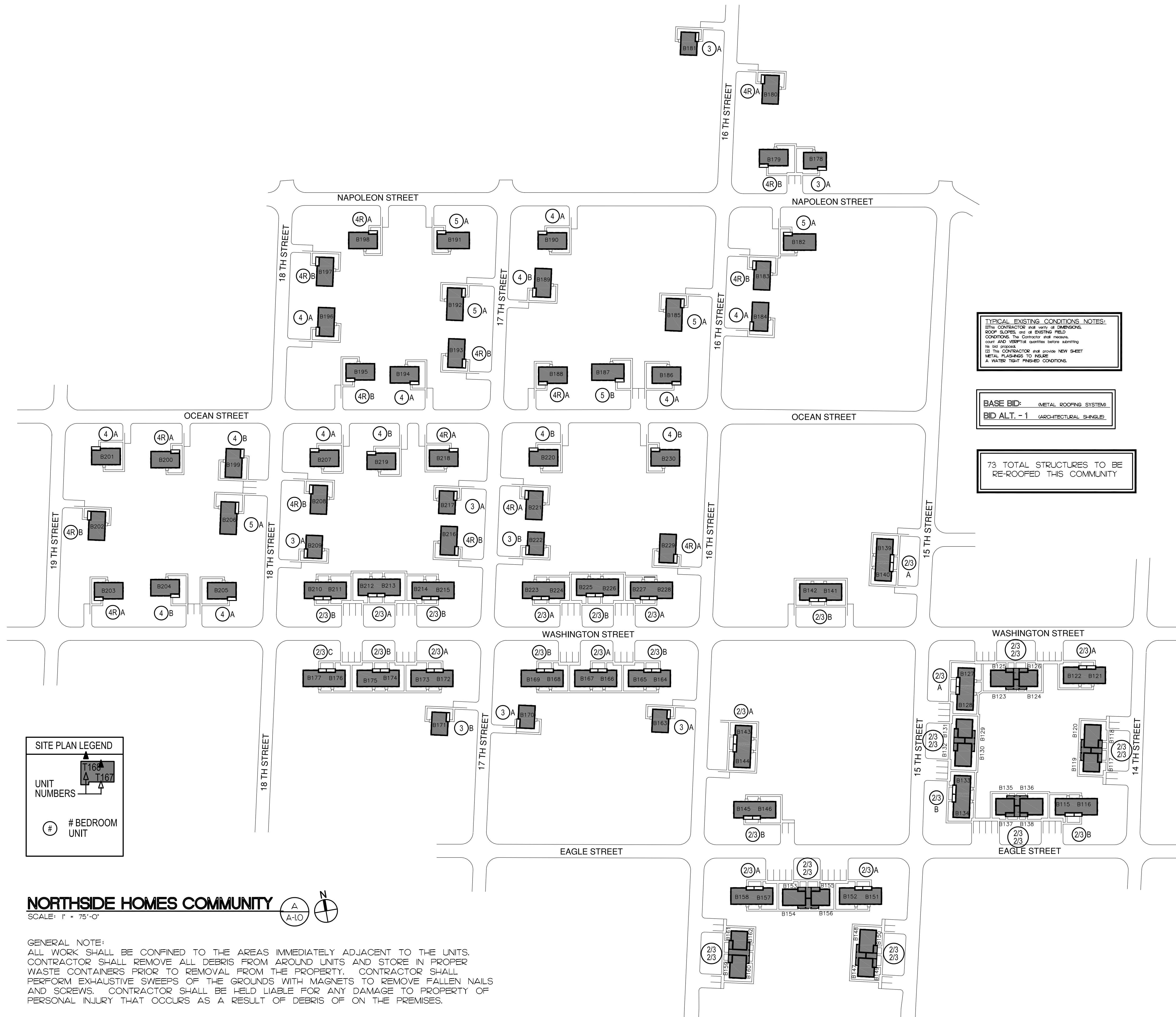
RE-ROOFING AT NORTHSIDE HOMES PALATKA HOUSING AUTHORITY PALATKA, FL.

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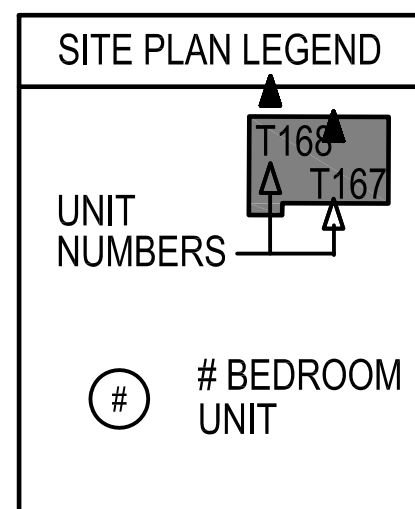
2 Of 8 Sheets



**TYPICAL EXISTING CONDITIONS NOTES:**  
 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ROOF SLOPES, AND ALL EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL MEASURE, COUNT AND VERIFY THE QUANTITIES BEFORE STARTING HIS WORK.  
 2. THE CONTRACTOR SHALL PROVIDE NEW SHEET METAL FLASHINGS TO INSURE A WATER TIGHT FINISHED CONDITIONS.

**BASE BID:** (METAL ROOFING SYSTEM)  
**BID ALT. - 1** (ARCHITECTURAL SHINGLES)

73 TOTAL STRUCTURES TO BE RE-ROOFED THIS COMMUNITY



**NORTHSIDE HOMES COMMUNITY**  
 SCALE: 1" = 75'-0"

**GENERAL NOTE:**  
 ALL WORK SHALL BE CONFINED TO THE AREAS IMMEDIATELY ADJACENT TO THE UNITS. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM AROUND UNITS AND STORE IN PROPER WASTE CONTAINERS PRIOR TO REMOVAL FROM THE PROPERTY. CONTRACTOR SHALL PERFORM EXHAUSTIVE SWEEPS OF THE GROUNDS WITH MAGNETS TO REMOVE FALLEN NAILS AND SCREWS. CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE TO PROPERTY OF PERSONAL INJURY THAT OCCURS AS A RESULT OF DEBRIS OF ON THE PREMISES.

REVISION	BY

**CRG**

CRG ARCHITECTS / PALATKA, INC.  
 216A ST. JOHNS AVE.  
 PALATKA, FL 32177  
 A A 0 0 0 2 6 0 4  
 P. 386-325-0213  
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BID SET

NORTHSIDE HOMES  
 SITE PLAN

RE-ROOFING AT NORTHSIDE HOMES  
 PALATKA HOUSING AUTHORITY  
 PALATKA, FL.

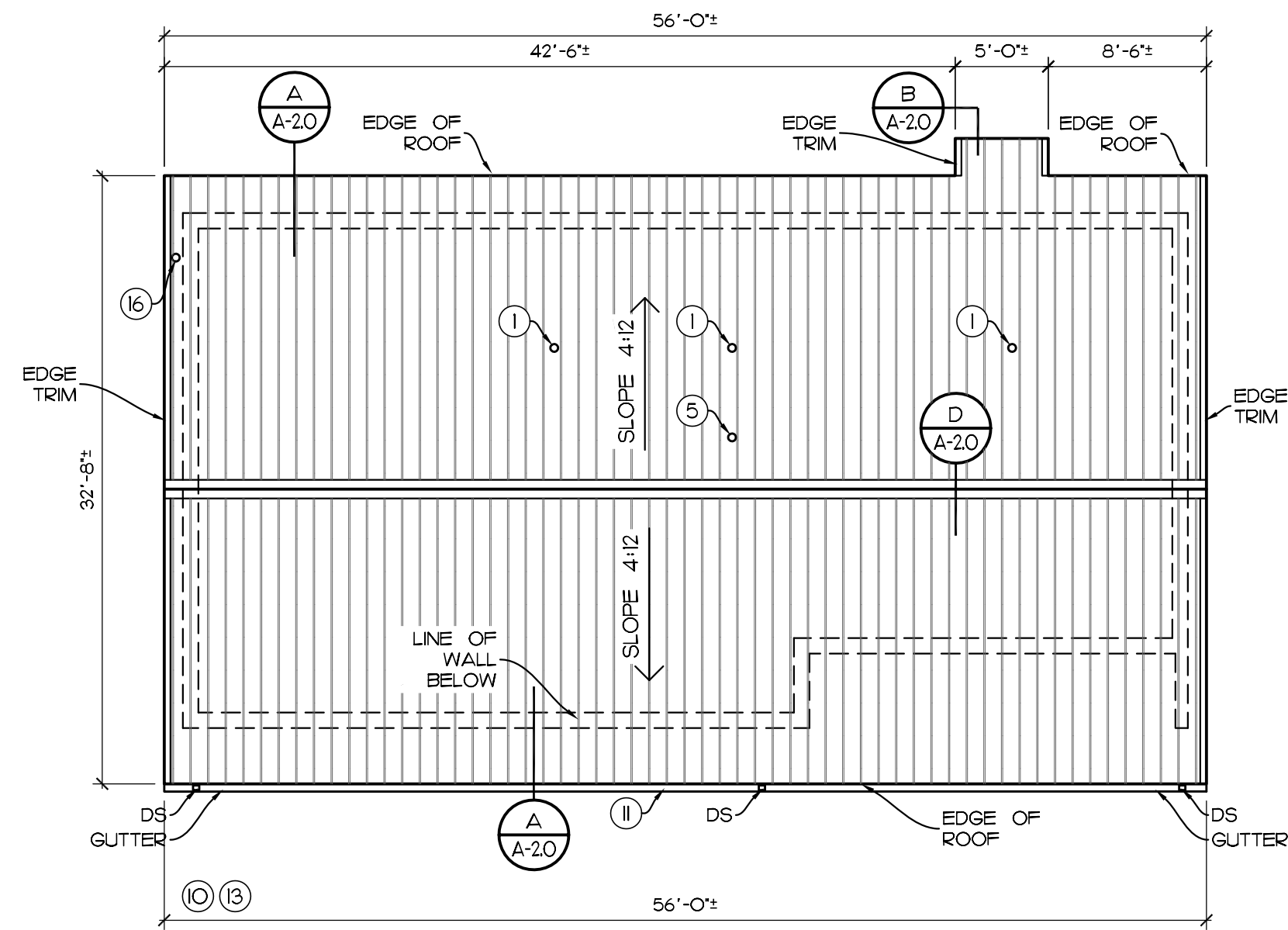
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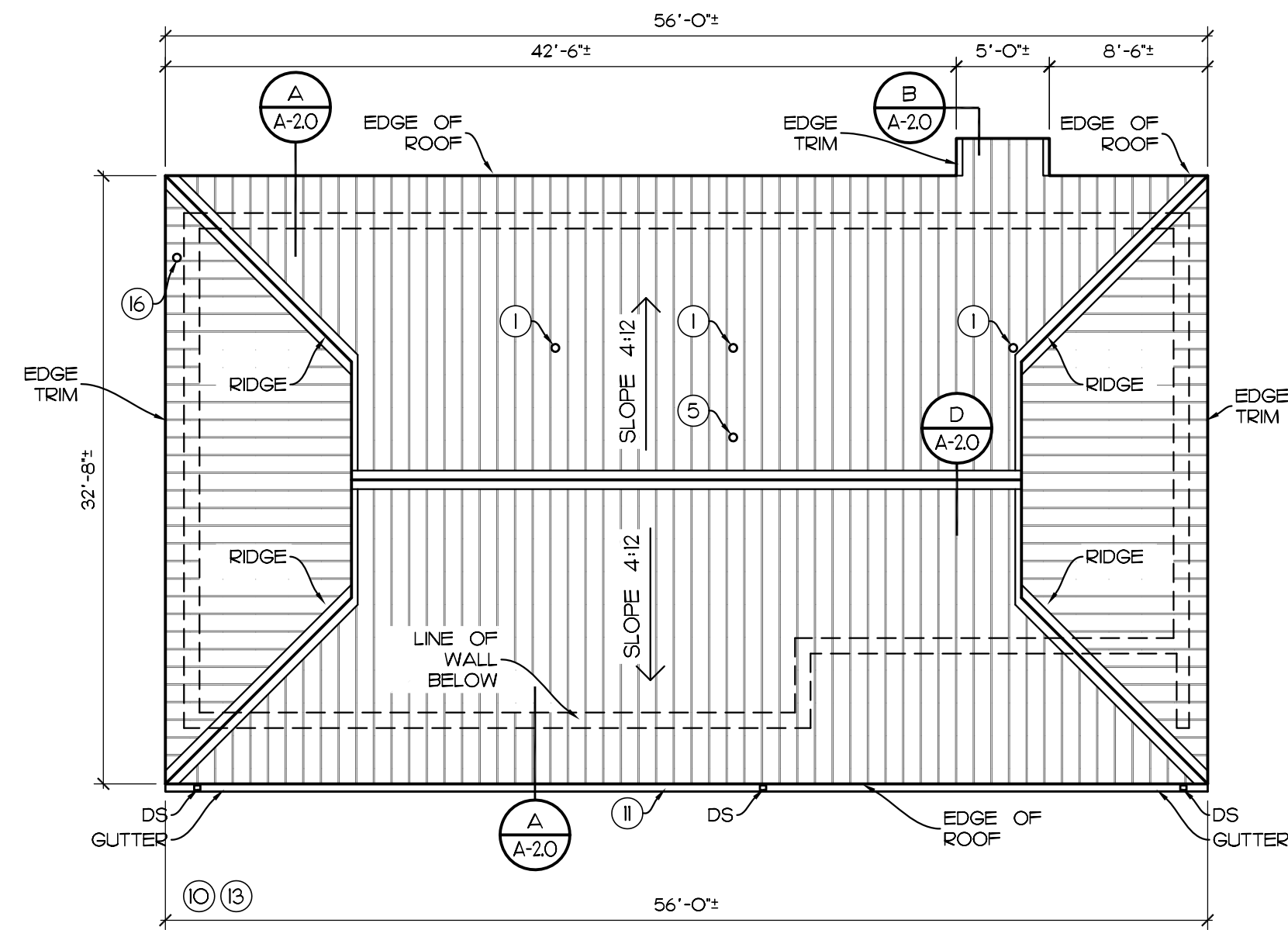
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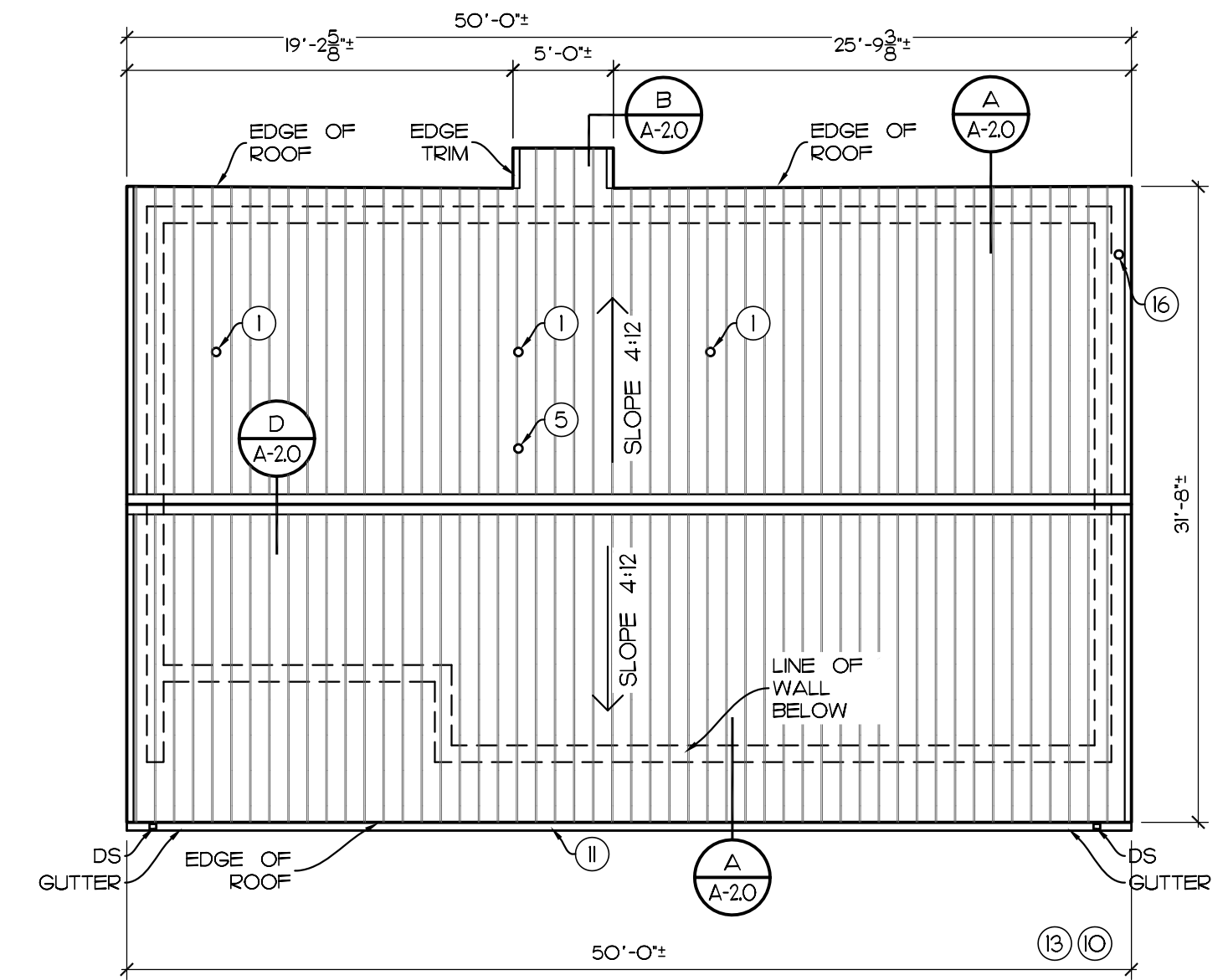
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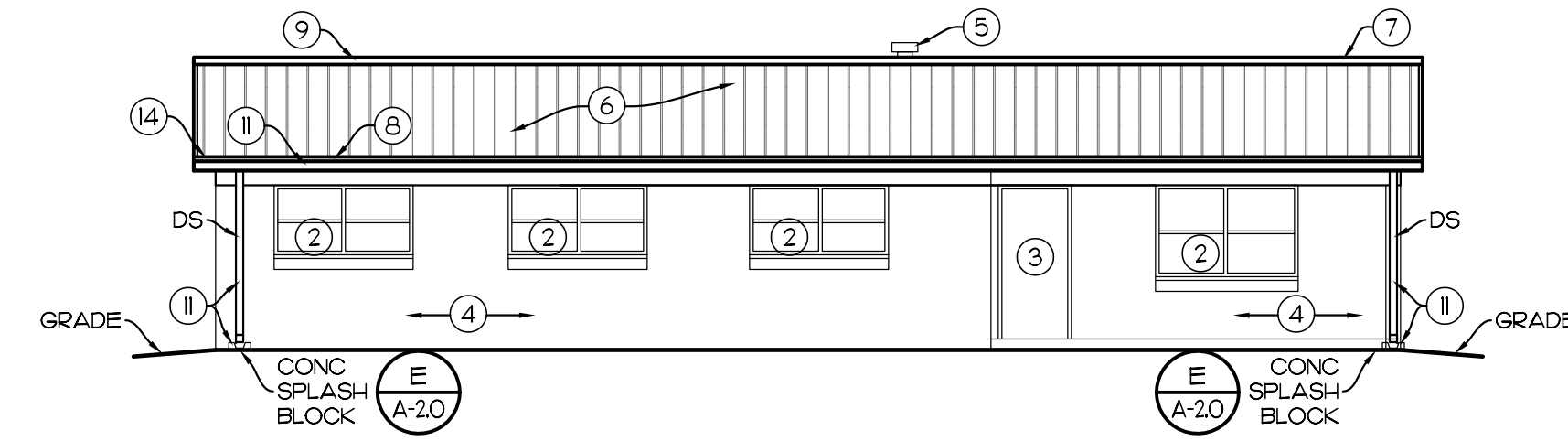
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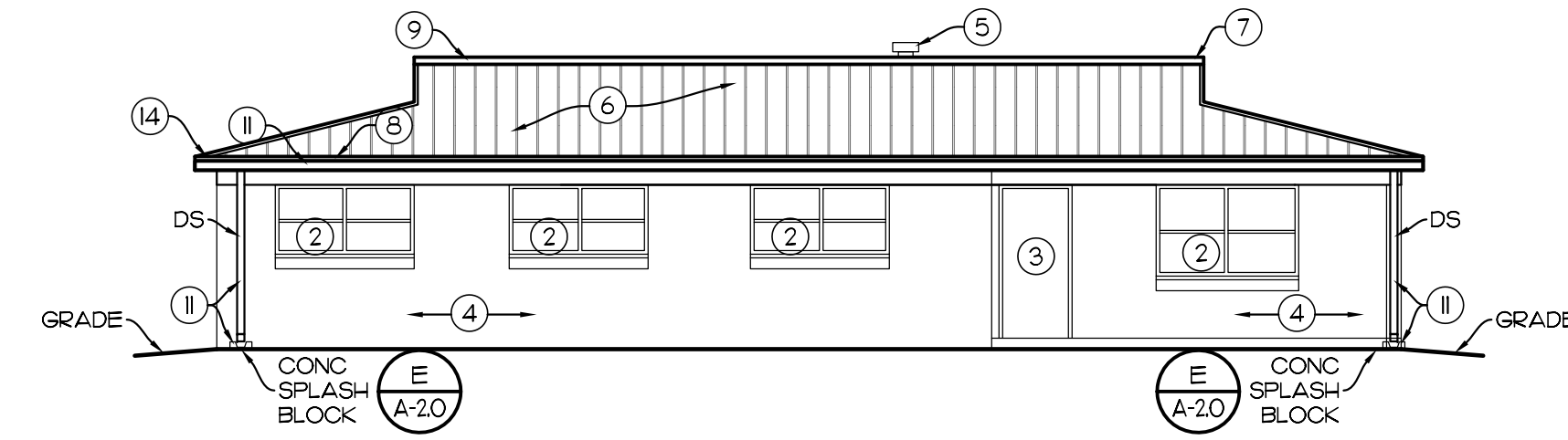
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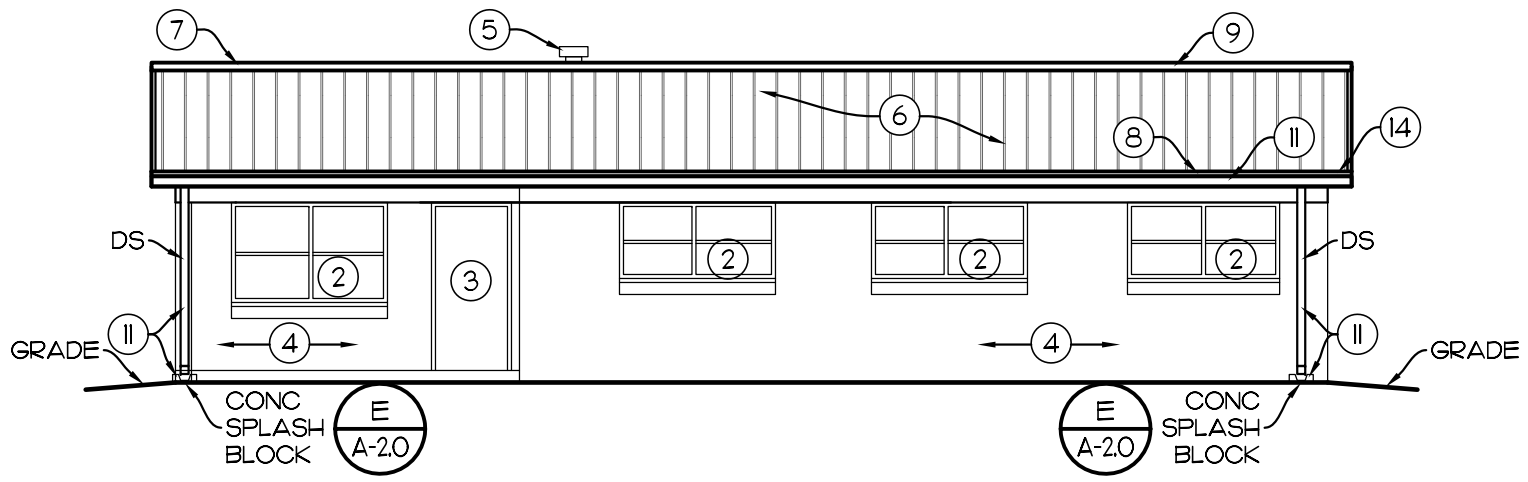
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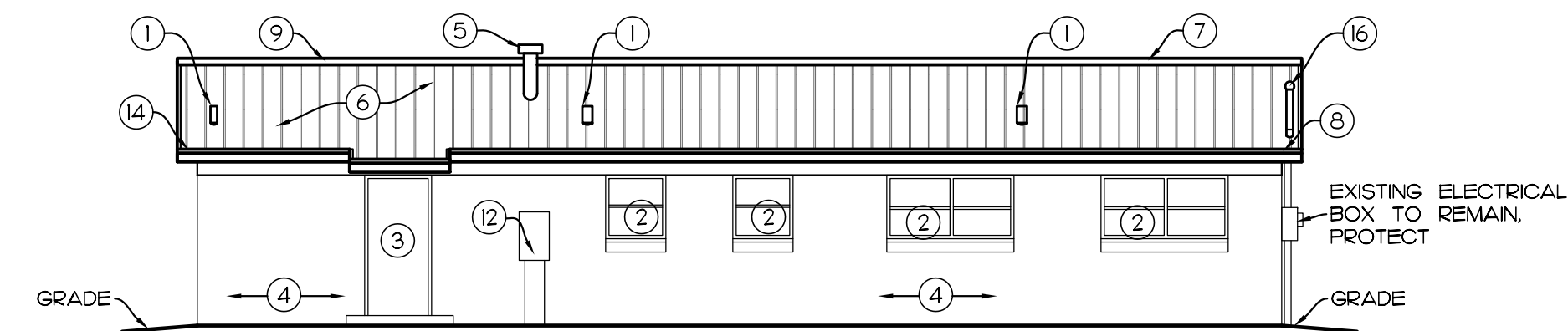
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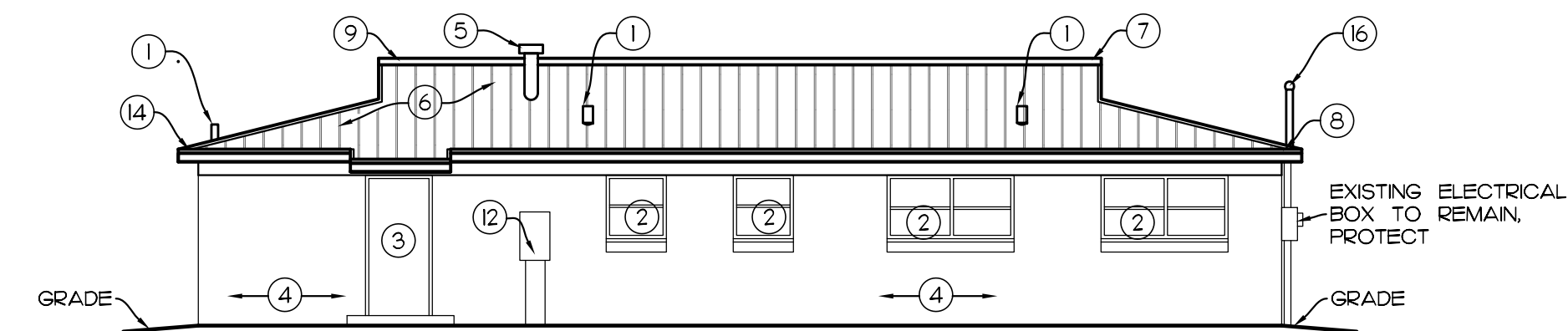
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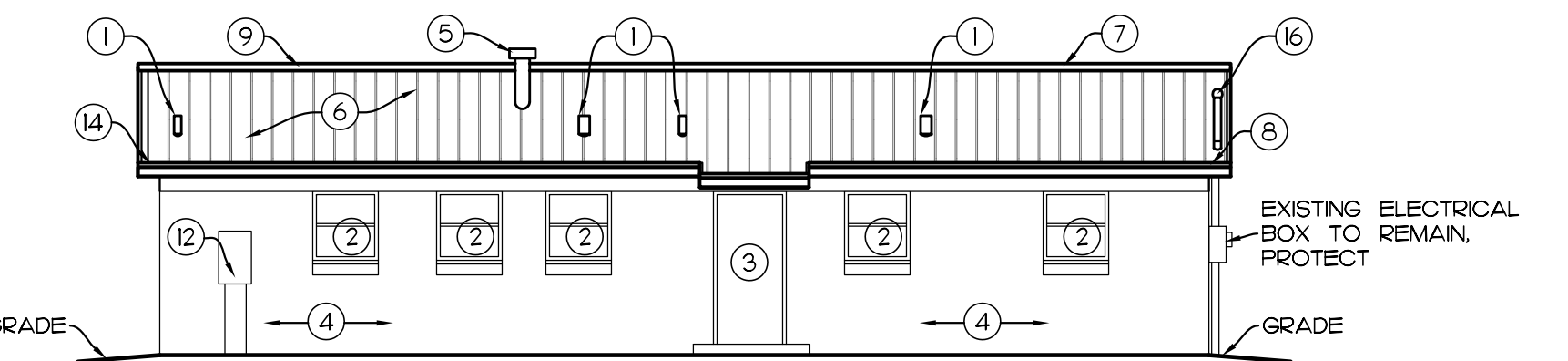
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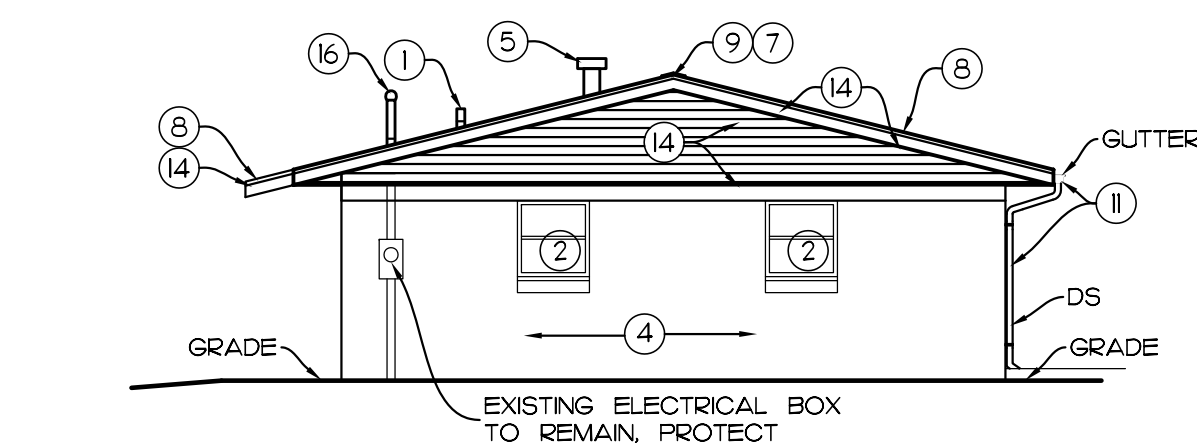
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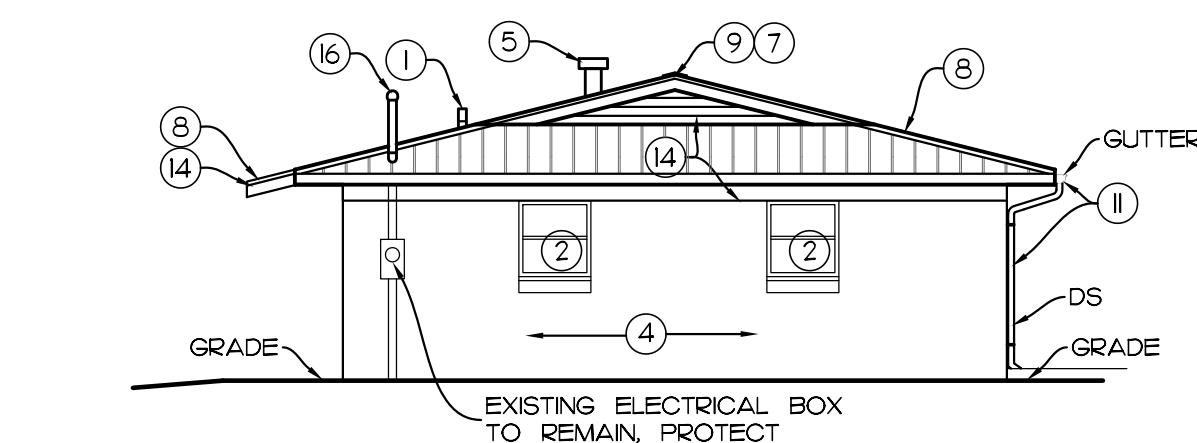
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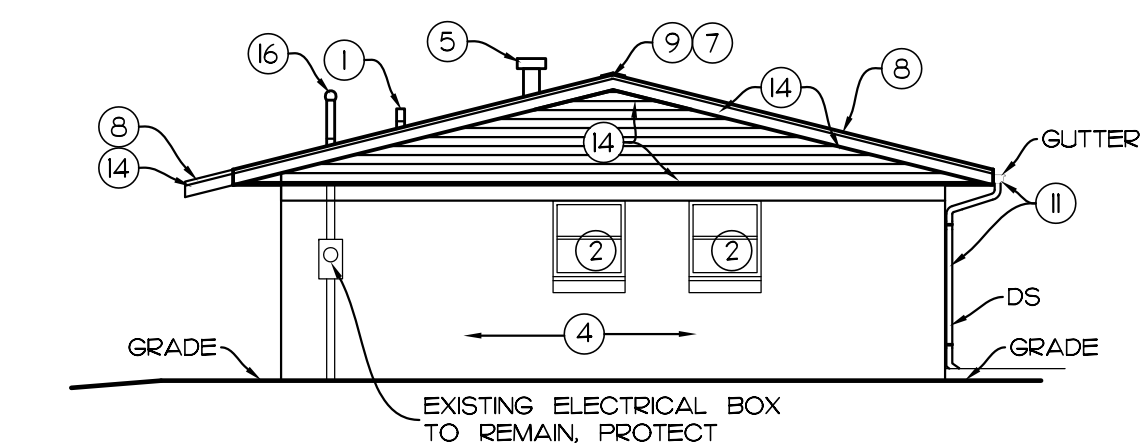
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**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

BUILDING TYPE (5A)

BUILDING TYPE (5B)

BUILDING TYPE (4A)

REVISION	BY

**CRG**

CRG ARCHITECTS / PALATKA, INC.  
216A ST. JOHNS AVE.  
PALATKA, FL 32177  
A A 0 0 0 2 6 0 4  
P. 386-325-0213  
F. 386-328-1401

BID SET

ROOF PLANS, AND ELEVATIONS

RE-ROOFING AT NORTHSIDE HOMES  
PALATKA HOUSING AUTHORITY  
PALATKA, FL.

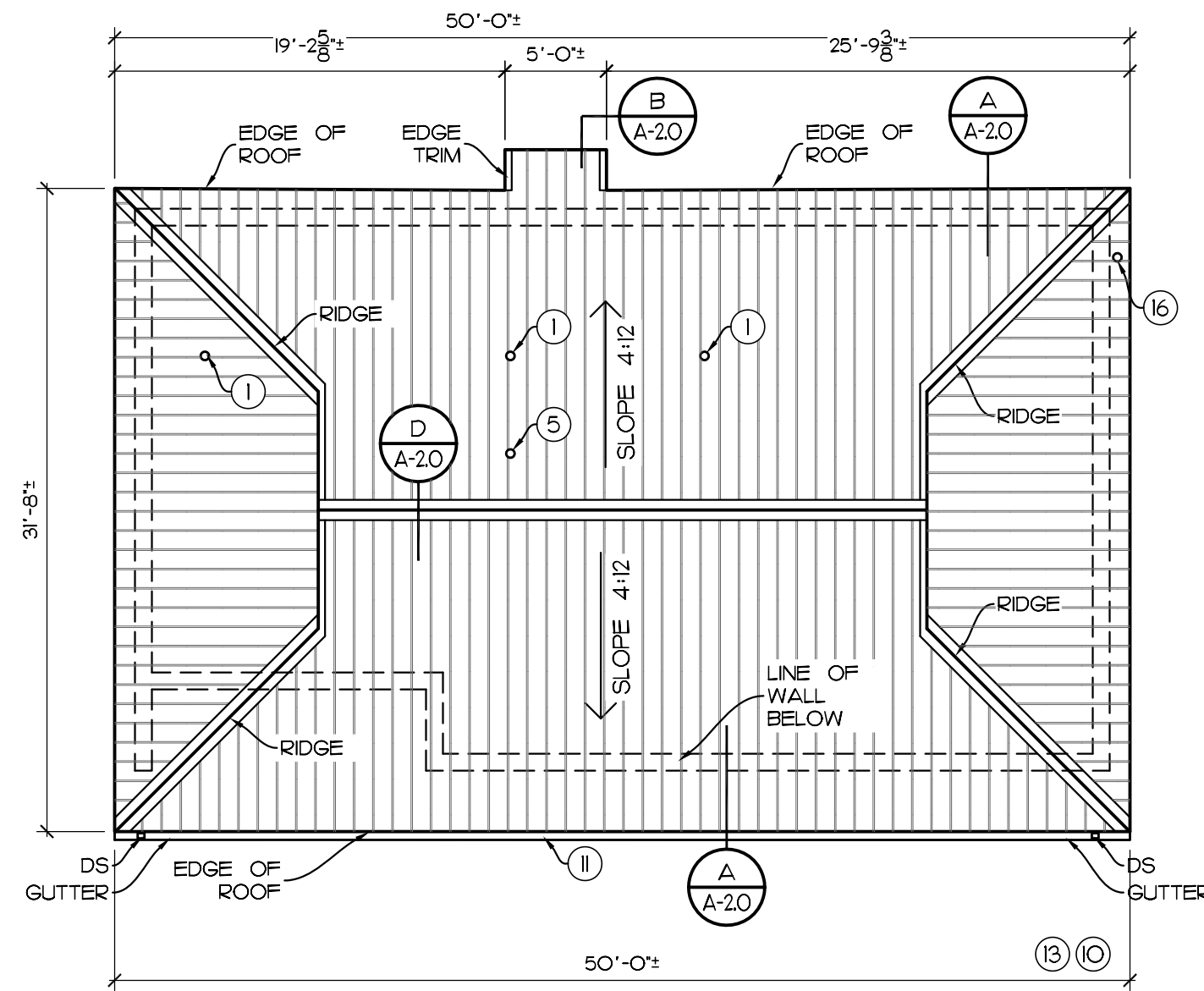
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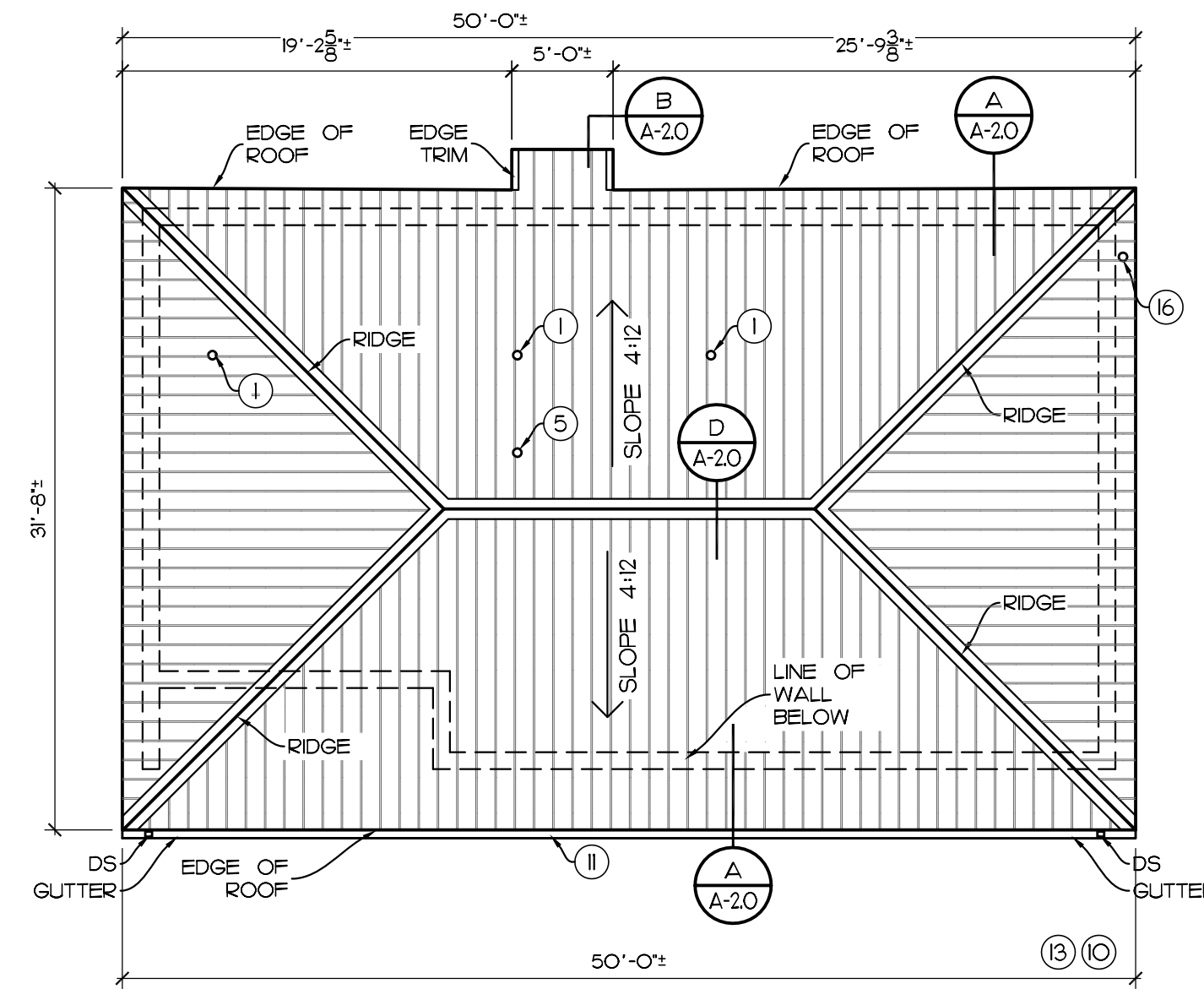
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4 Of 8 Sheets

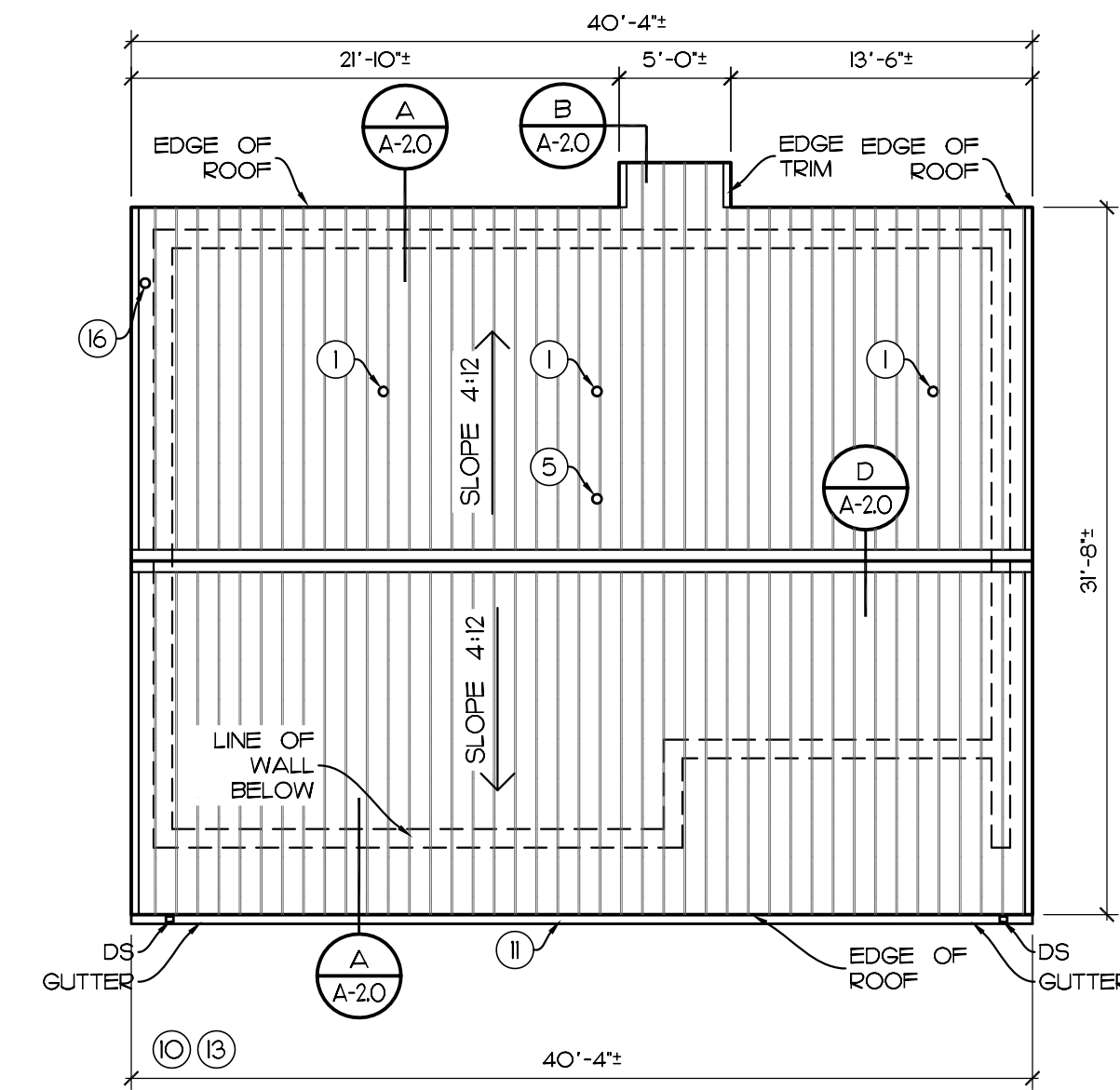
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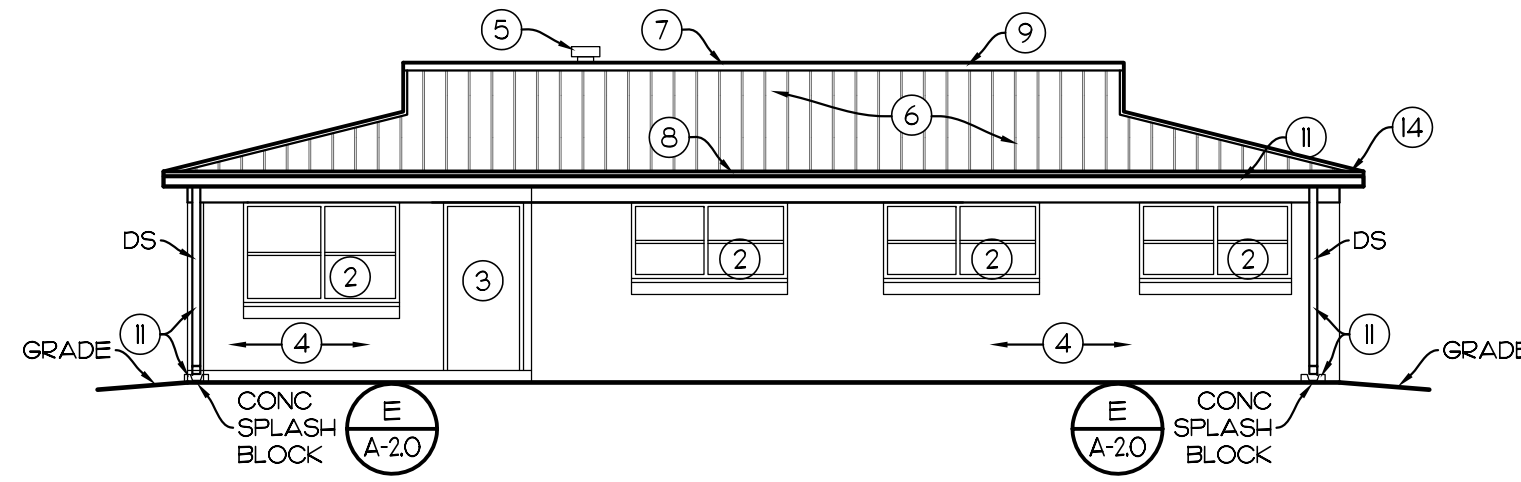
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SCALE: 1/8" = 1'-0"  
1  
A-1.2



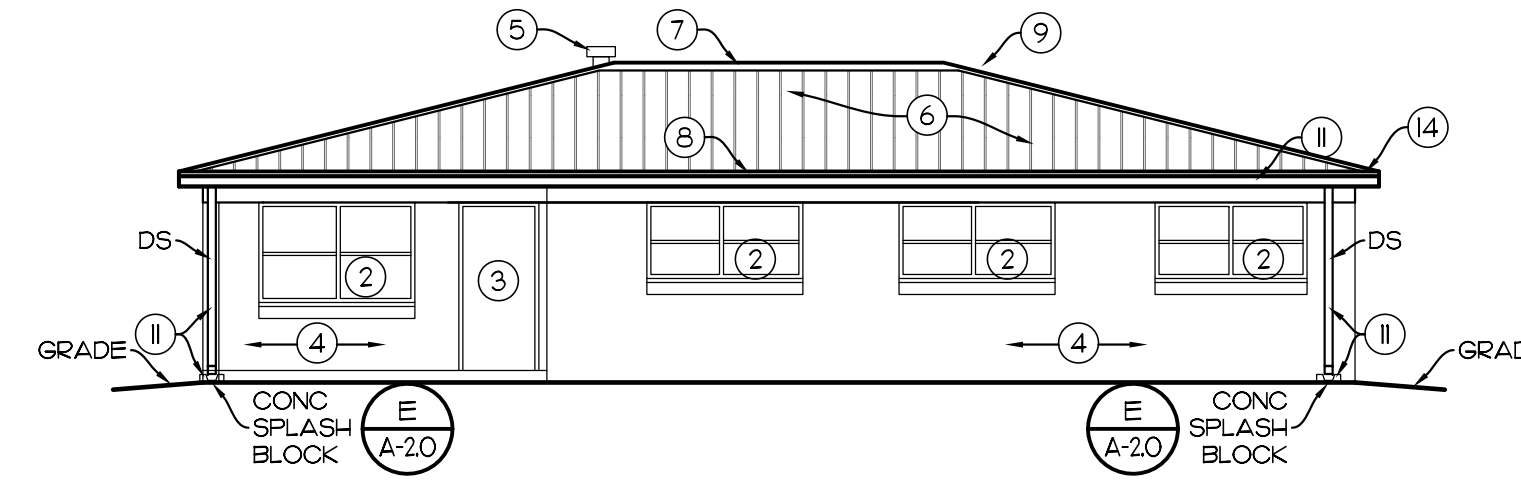
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A-1.2



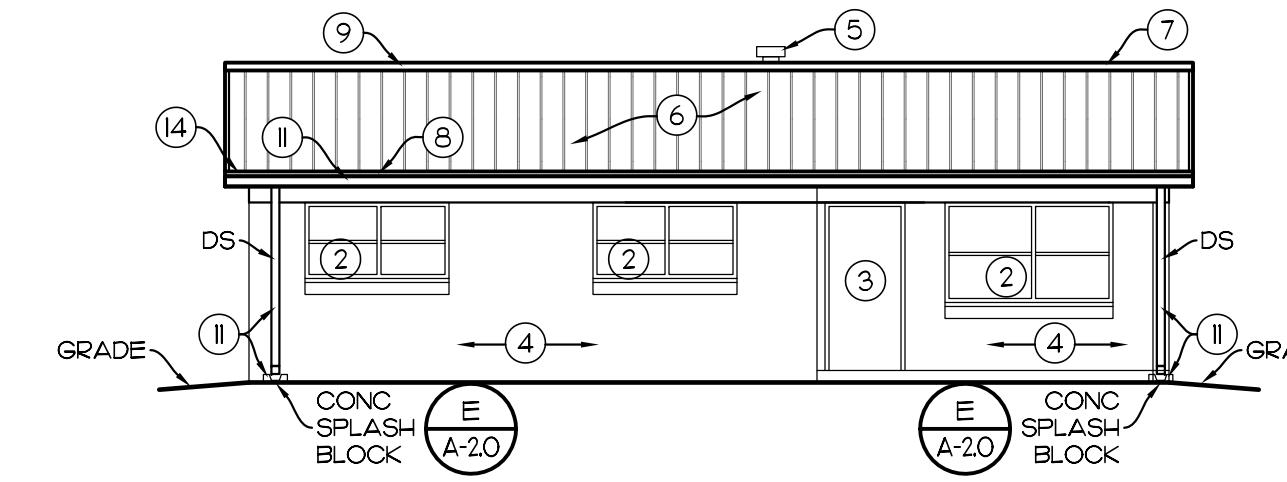
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A-1.2



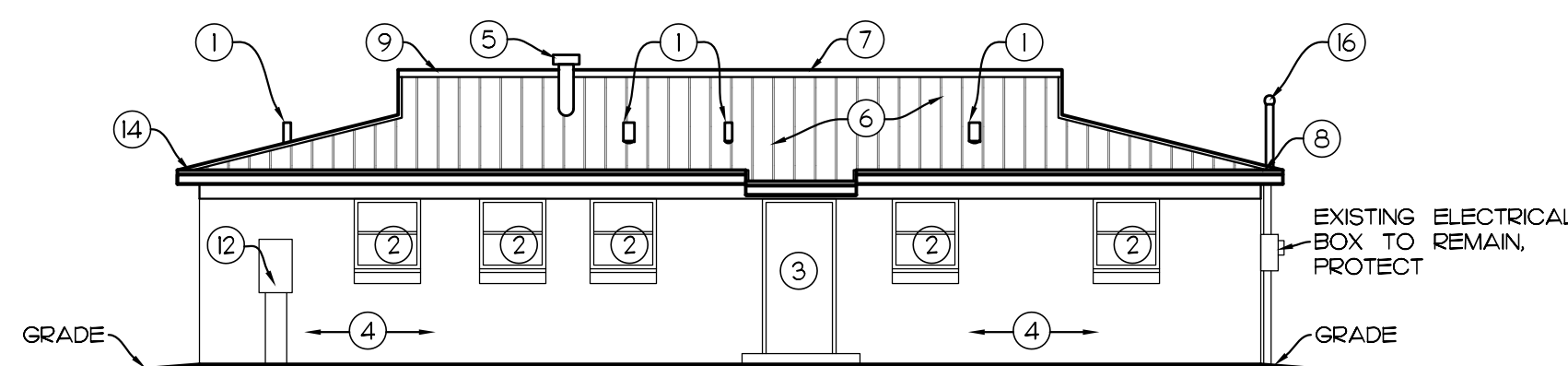
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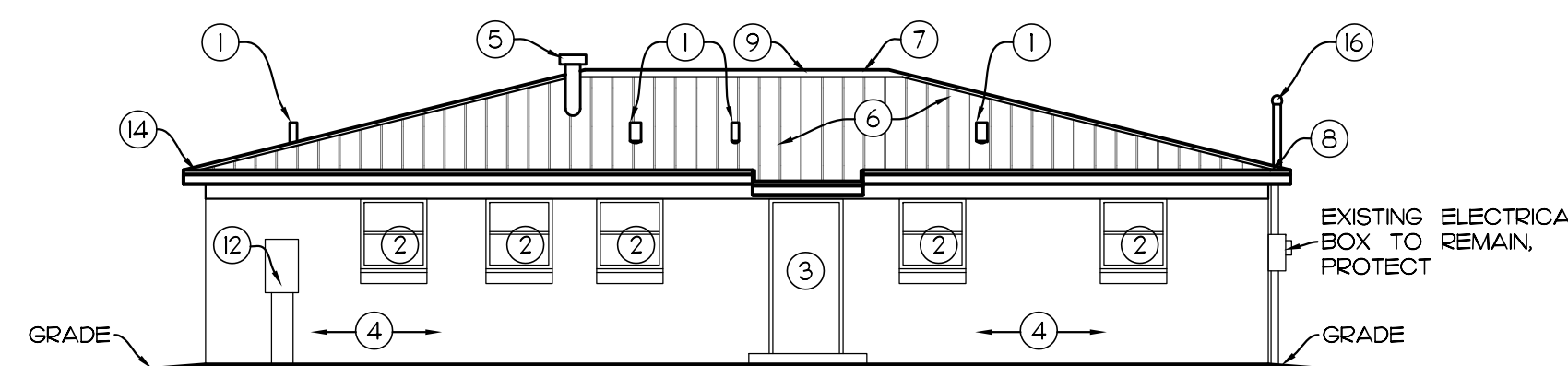
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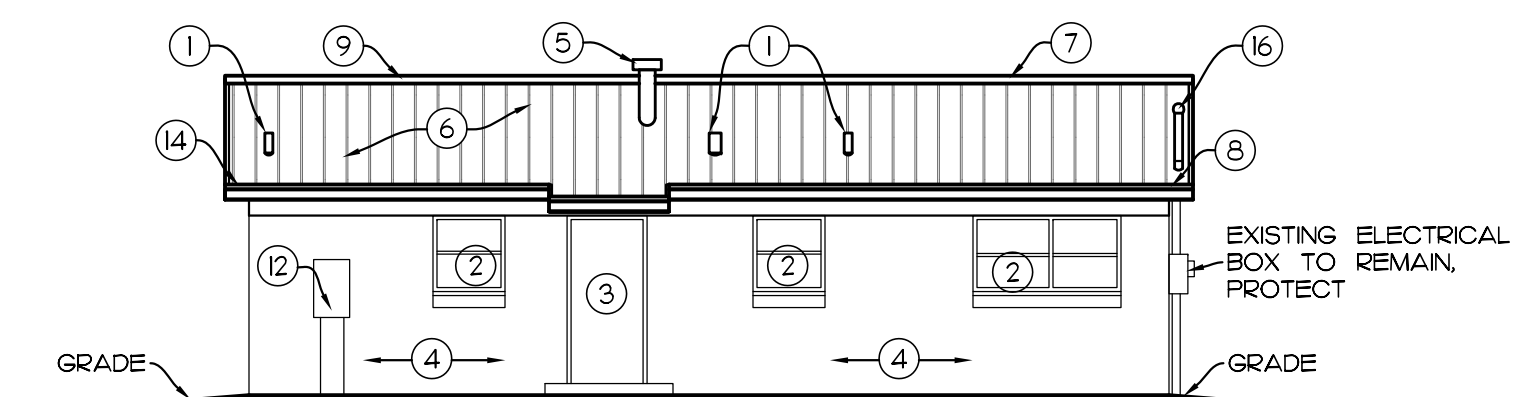
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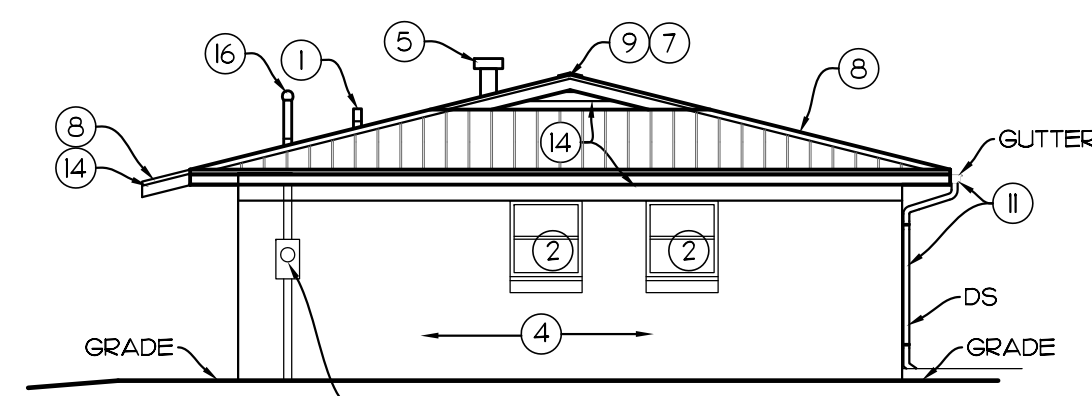
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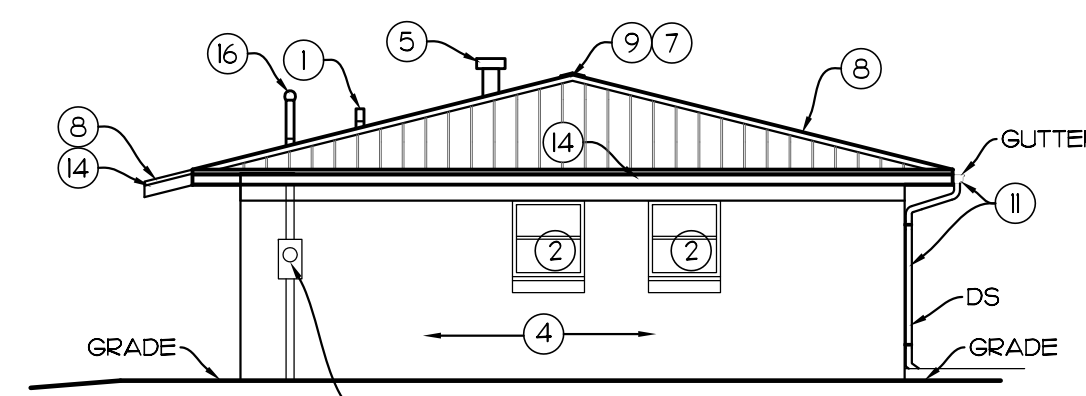
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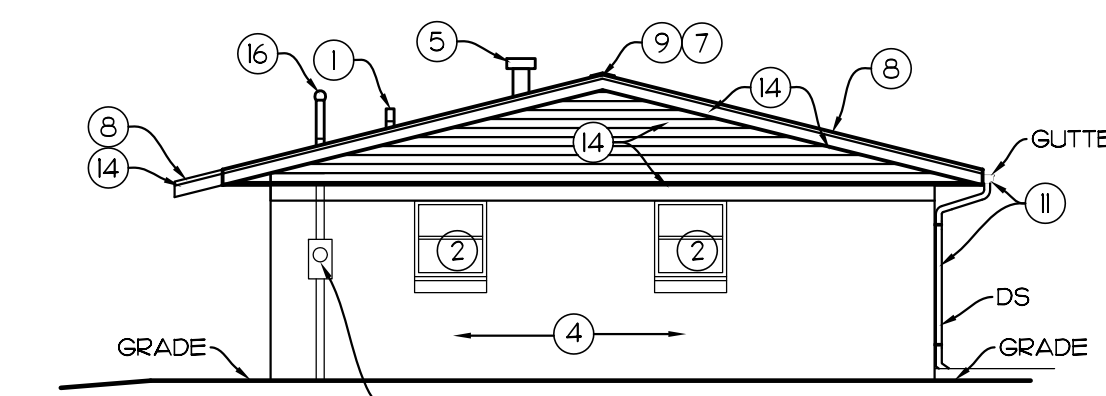
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**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

BUILDING TYPE (4B)

BUILDING TYPE (4C)

BUILDING TYPE (3A)

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p. 386-325-0213  
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ROOF PLANS, AND  
ELEVATIONS

RE-ROOFING AT NORTHSIDE HOMES  
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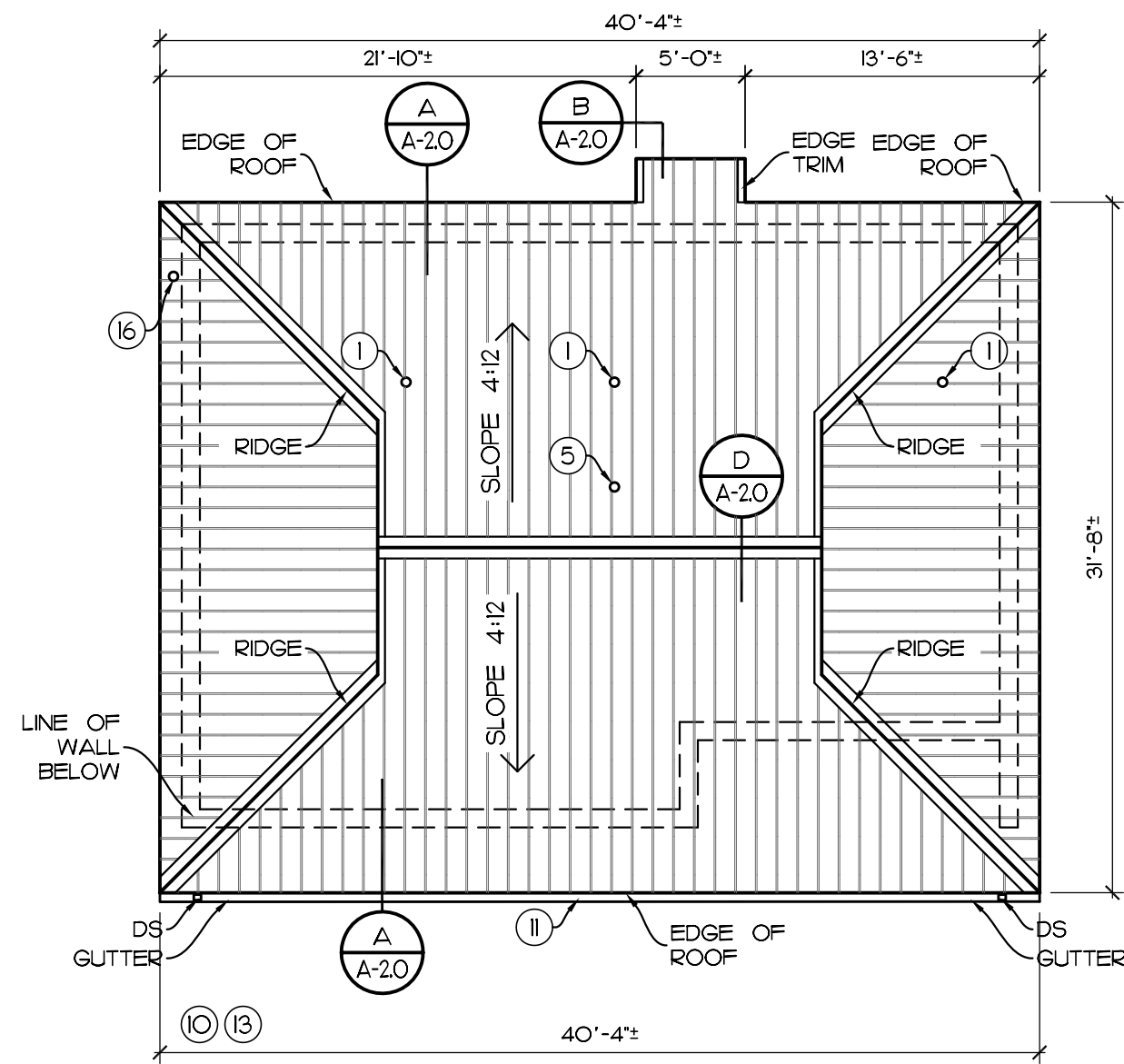
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Sheet:

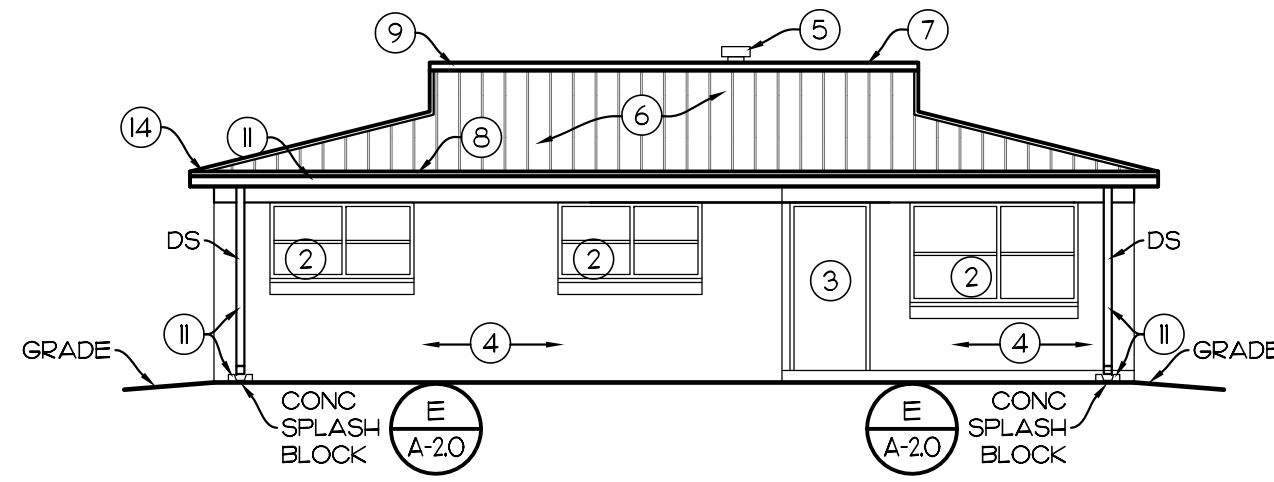
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5 Of 8 Sheets

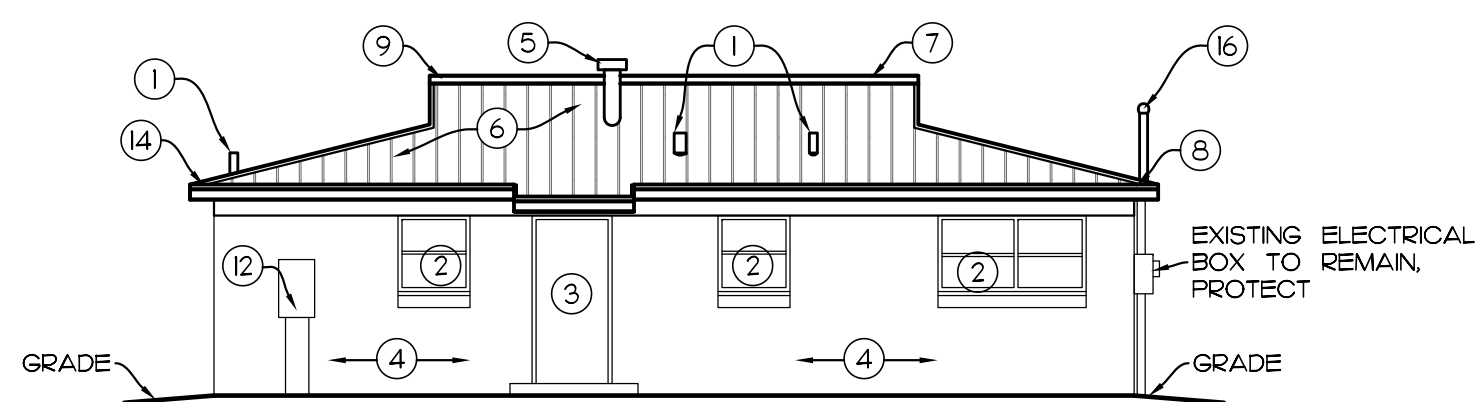
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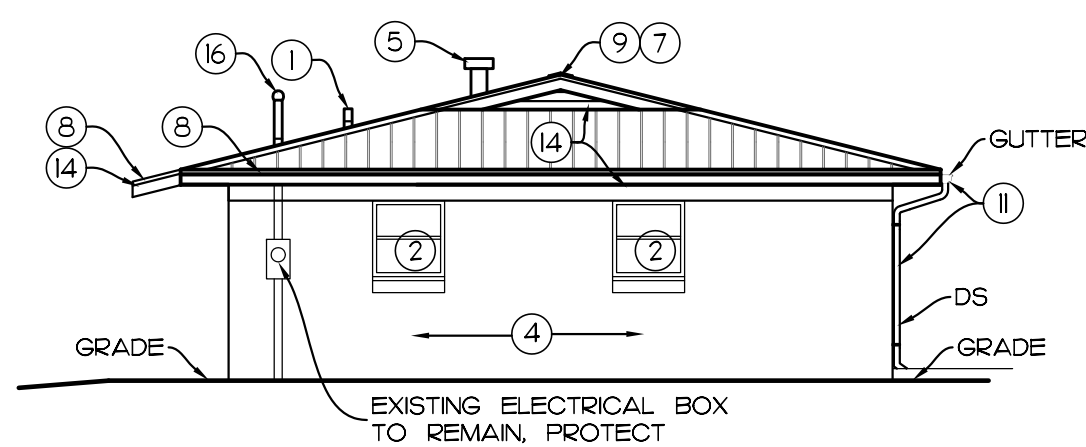
**ROOF PLAN**  
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A-13



**FRONT ELEVATION**  
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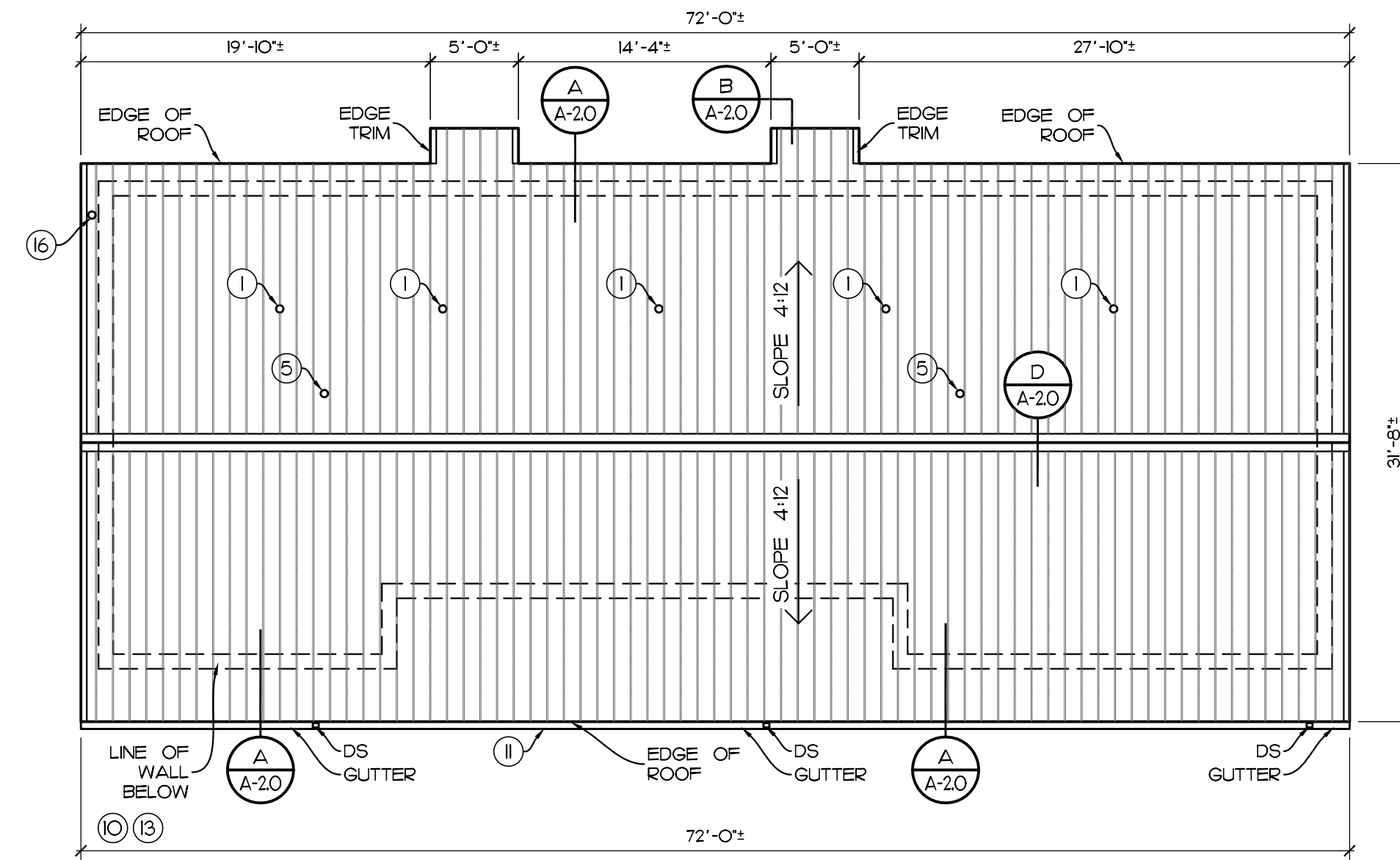


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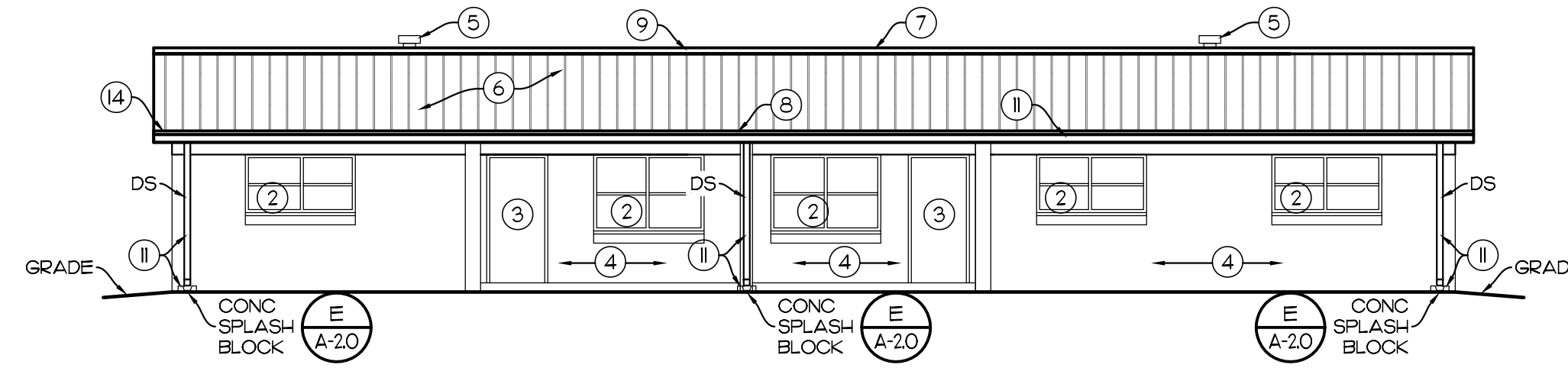


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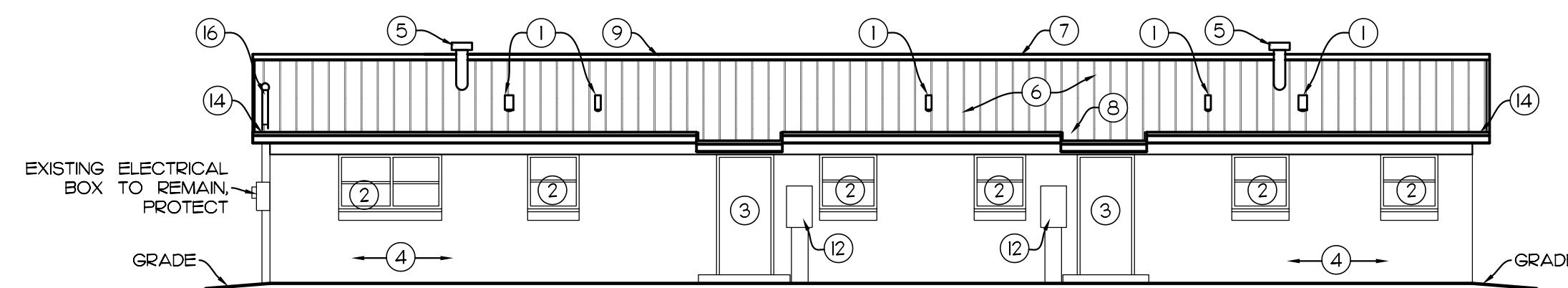
BUILDING TYPE (3B)



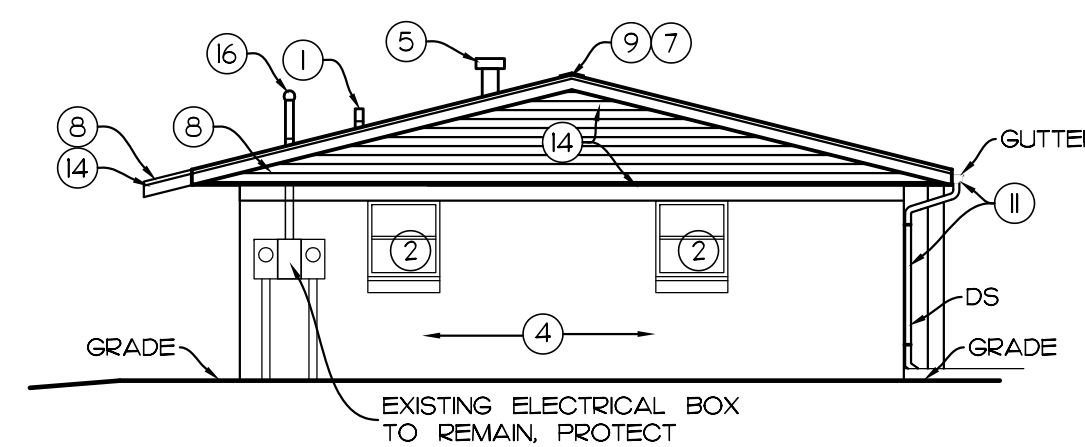
**ROOF PLAN**  
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A-13



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

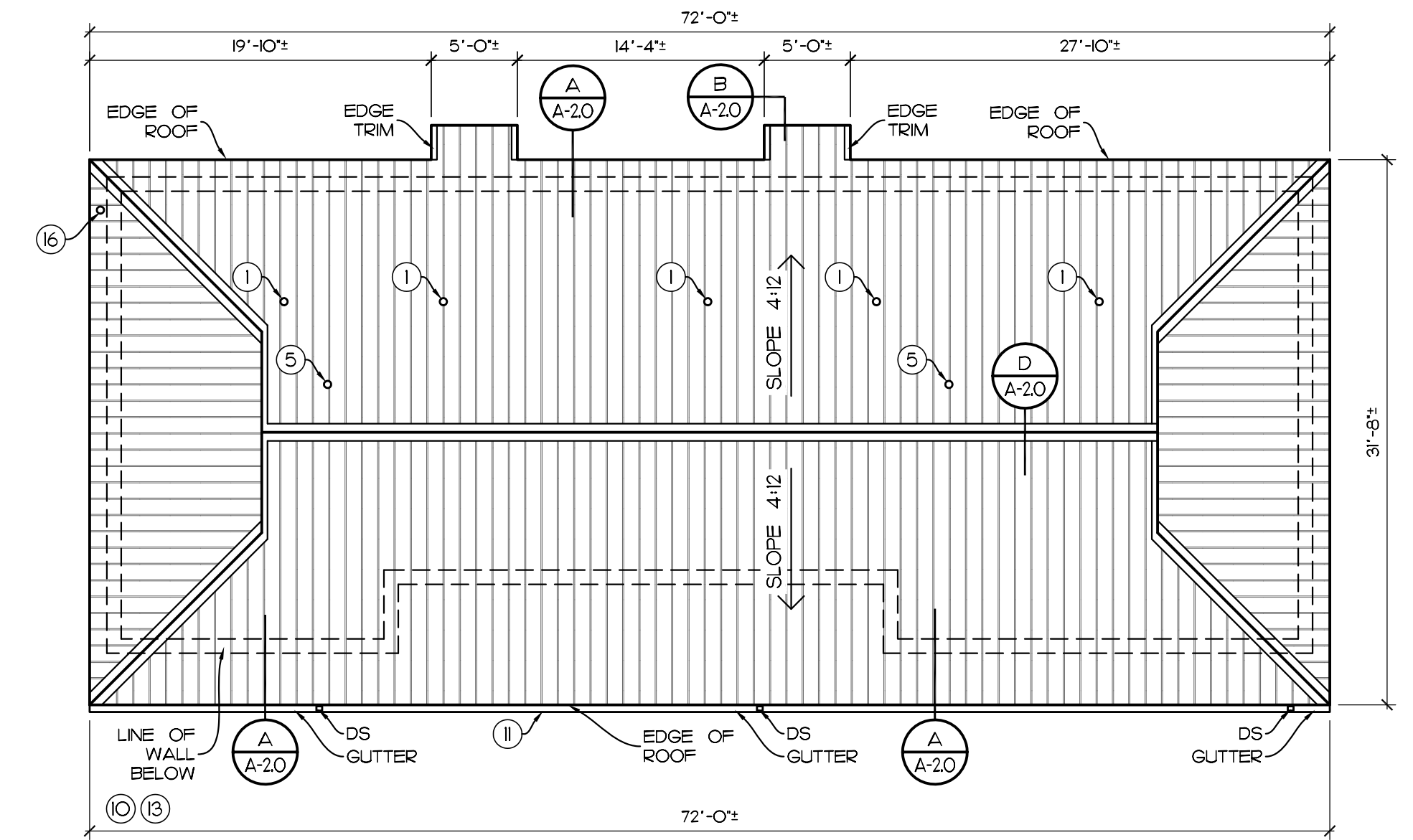


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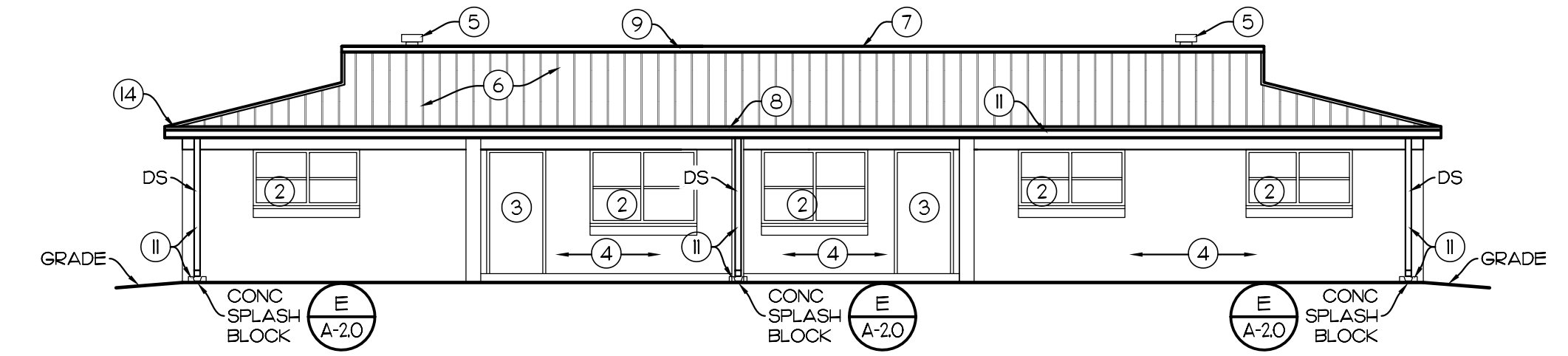


**SIDE ELEVATION**  
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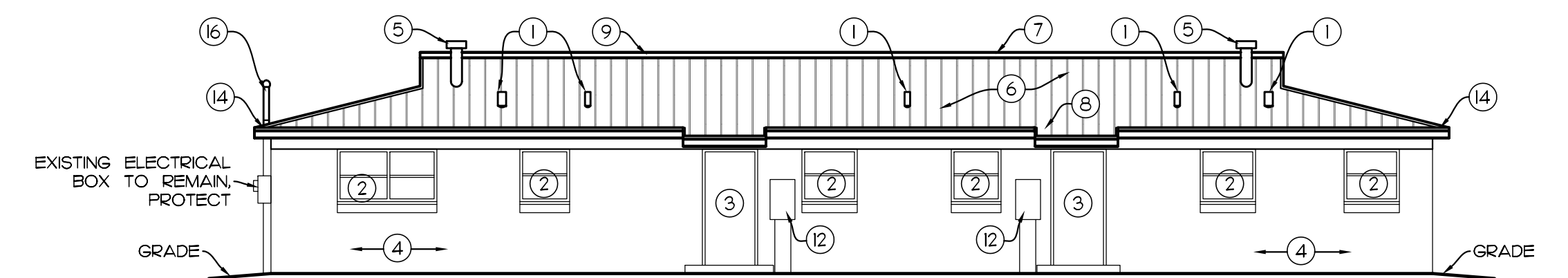
BUILDING TYPE (2/3 A)



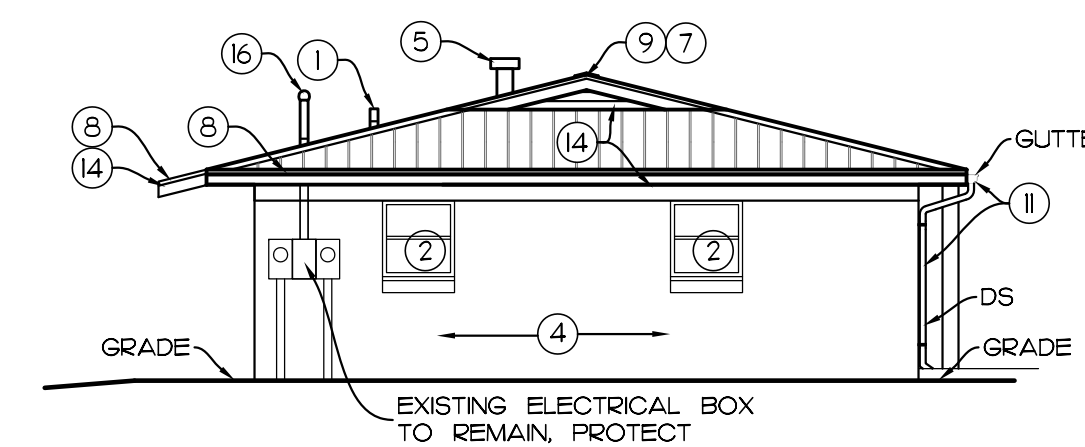
**ROOF PLAN**  
SCALE: 1/8" = 1'-0"  
A-13



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

BUILDING TYPE (2/3 B)

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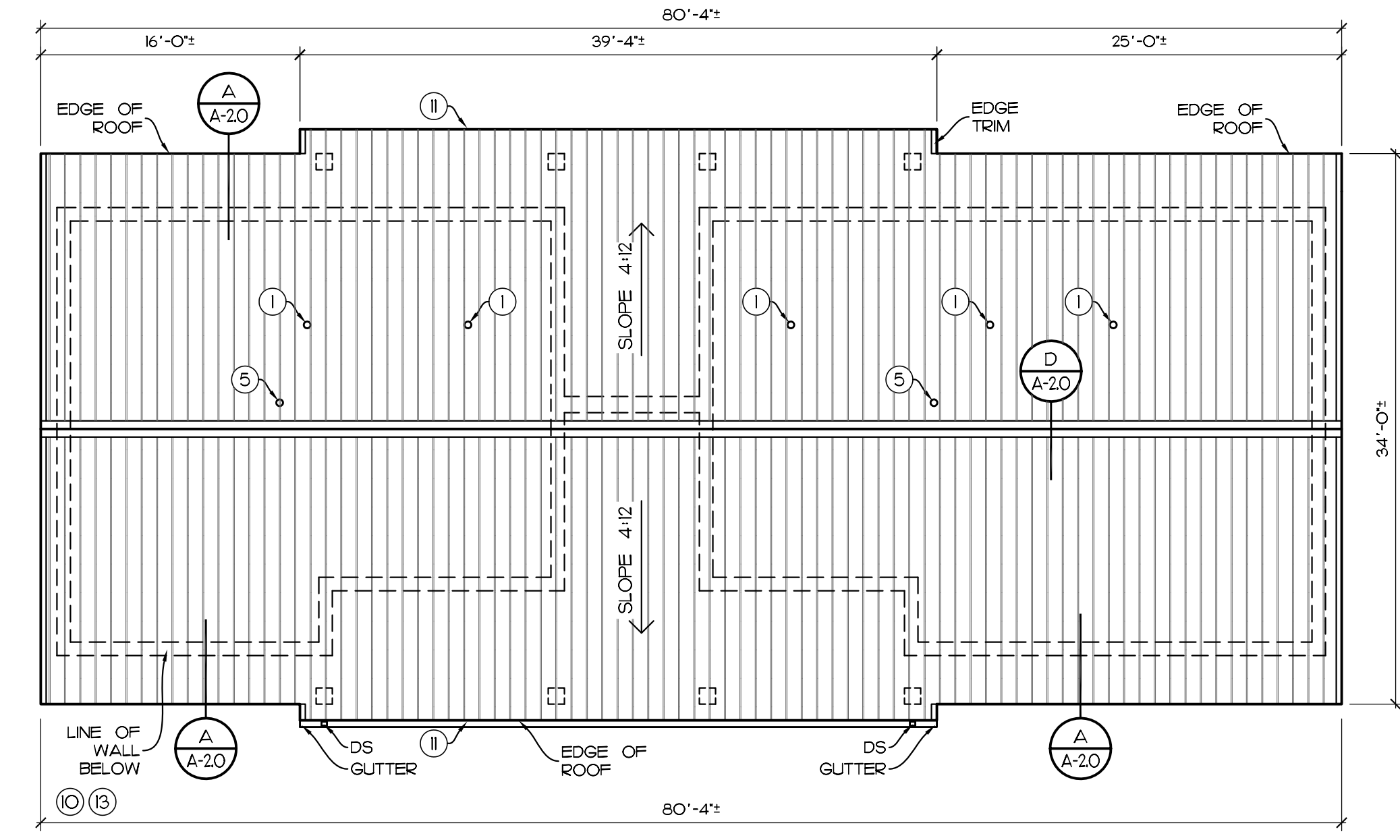
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Date: 1-6-25  
Scale: AS NOTED  
Drawn: JCK  
Job: 06203  
Sheet:

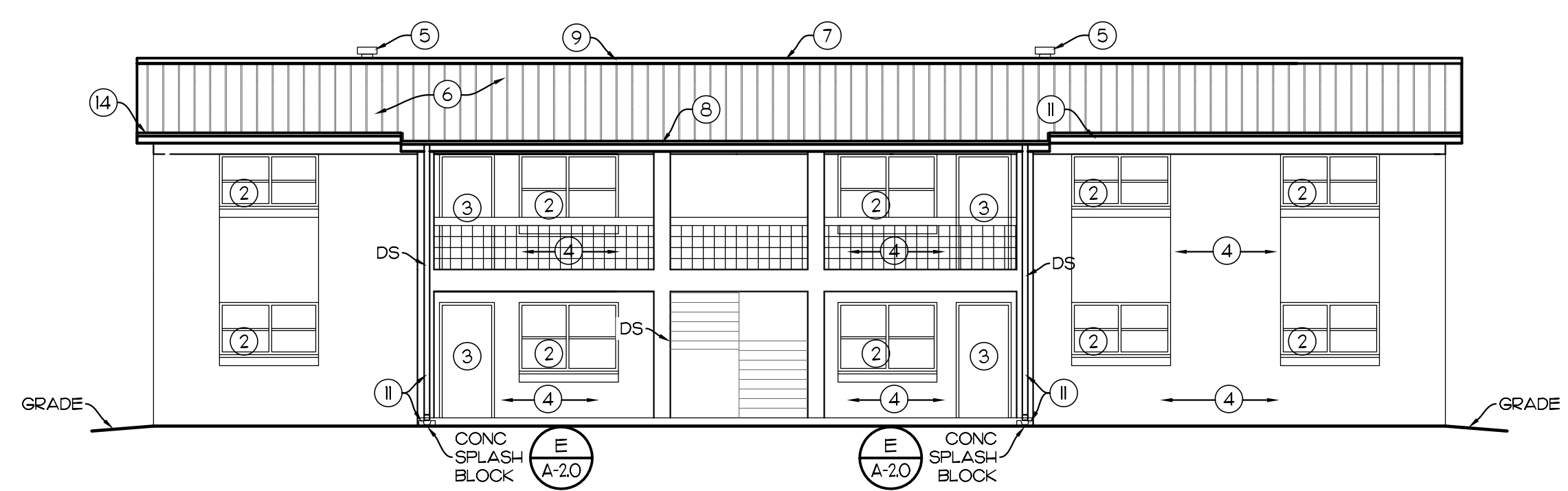
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6 Of 8 Sheets

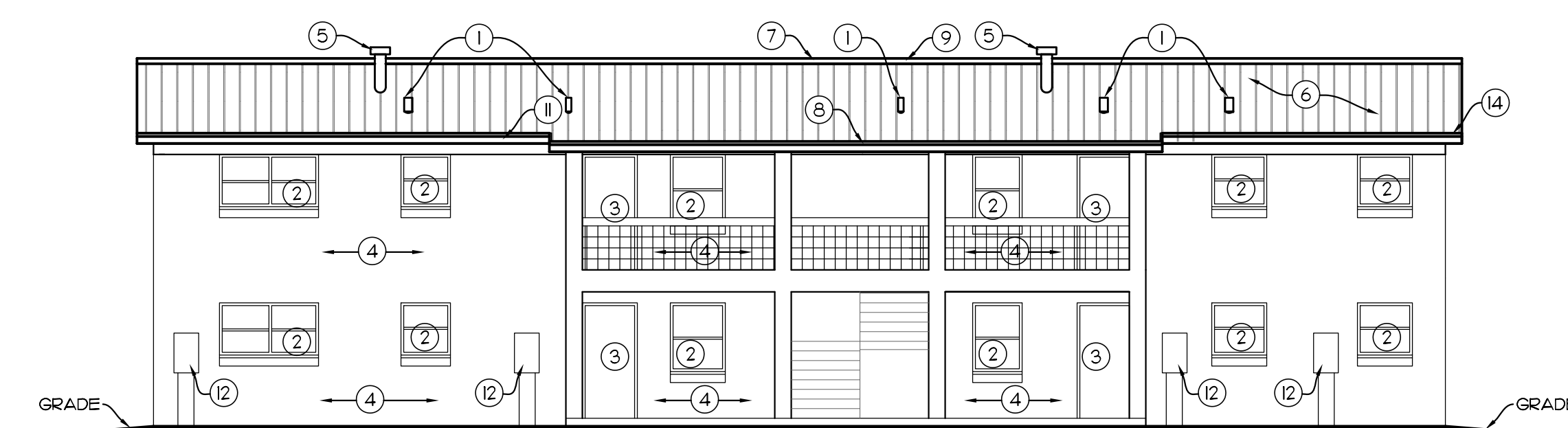
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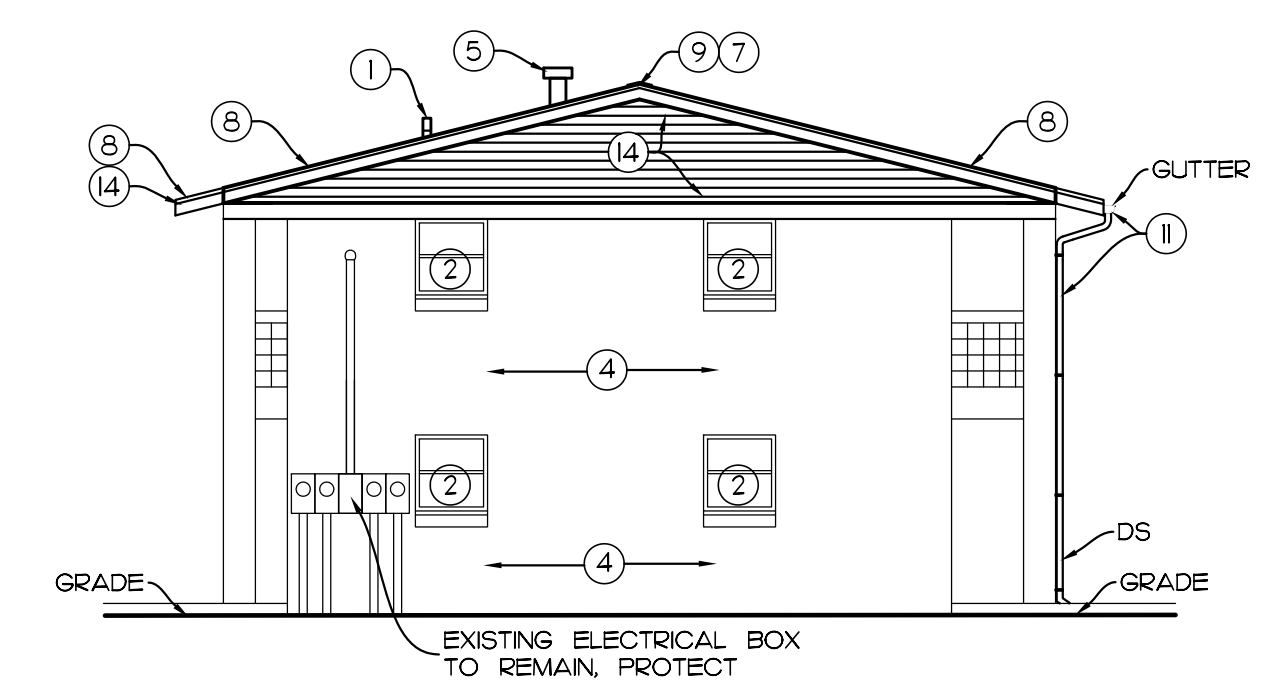
**ROOF PLAN**  
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**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

BUILDING TYPE (2/3 2/3)

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ELEVATIONS

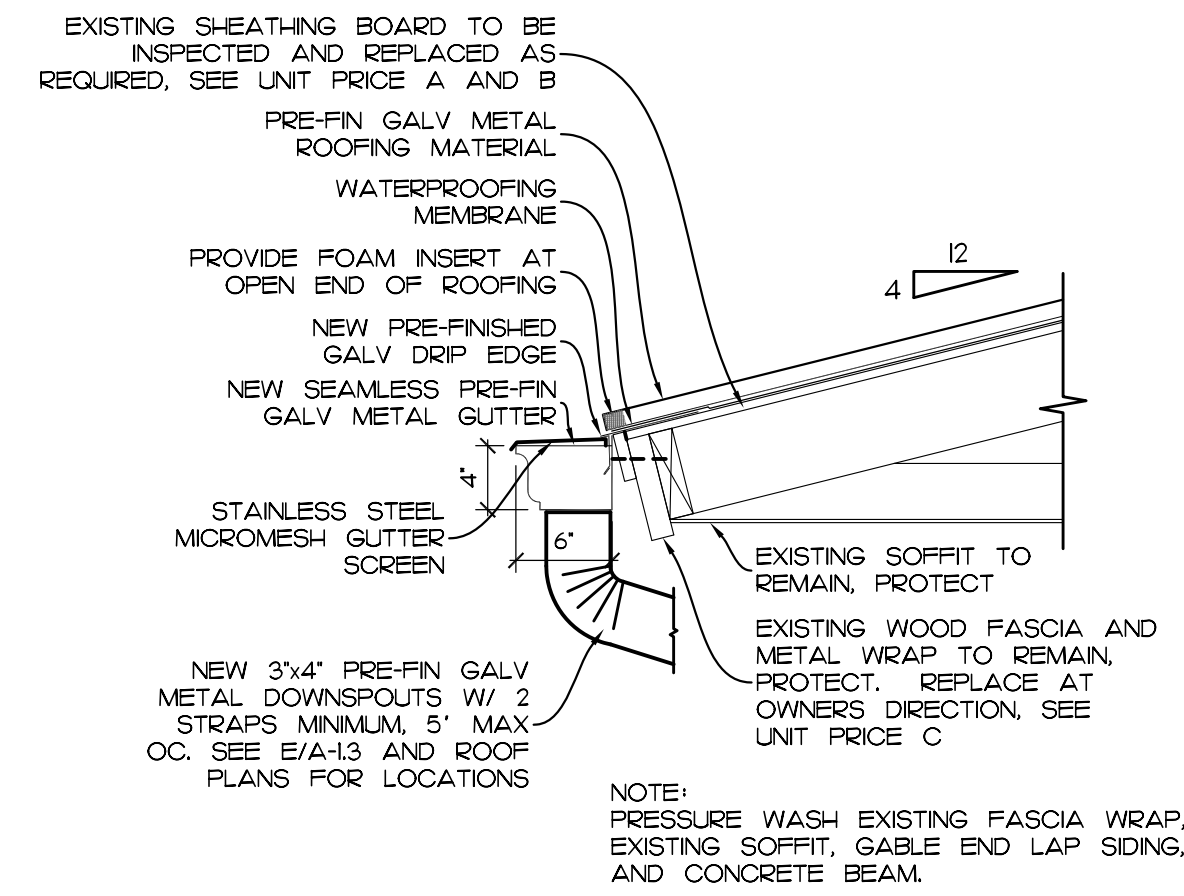
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Seal/Signature:

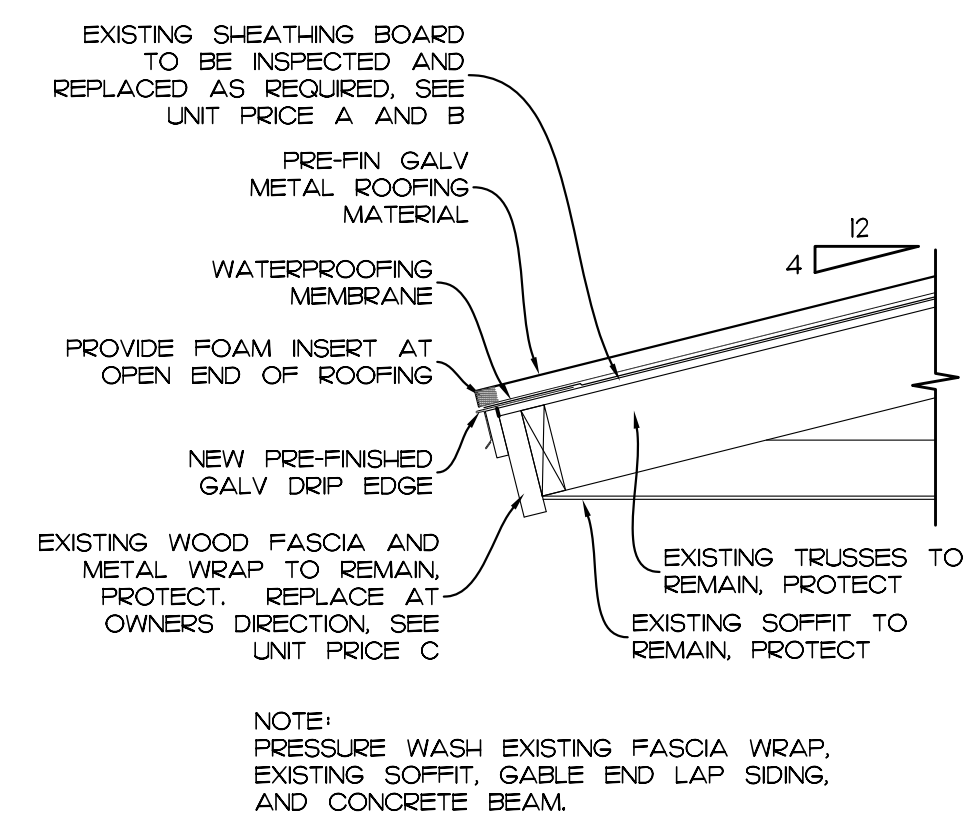
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**A-1.4**  
7 Of 8 Sheets

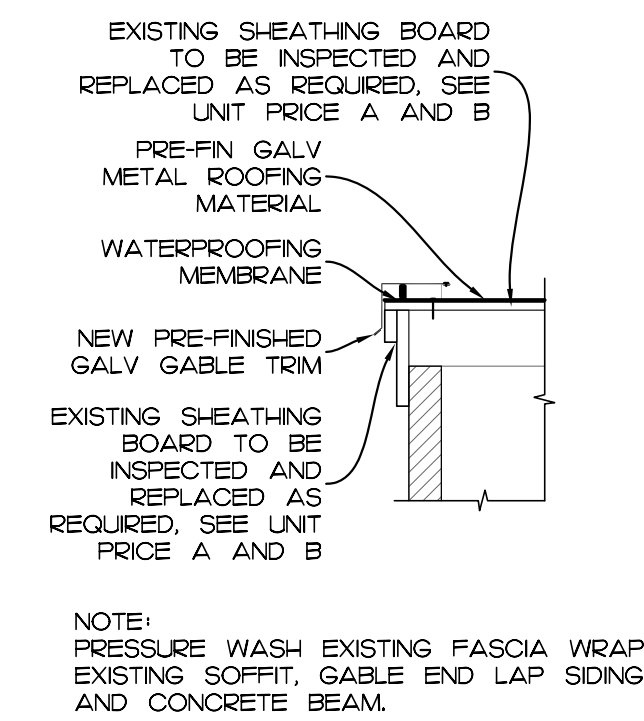
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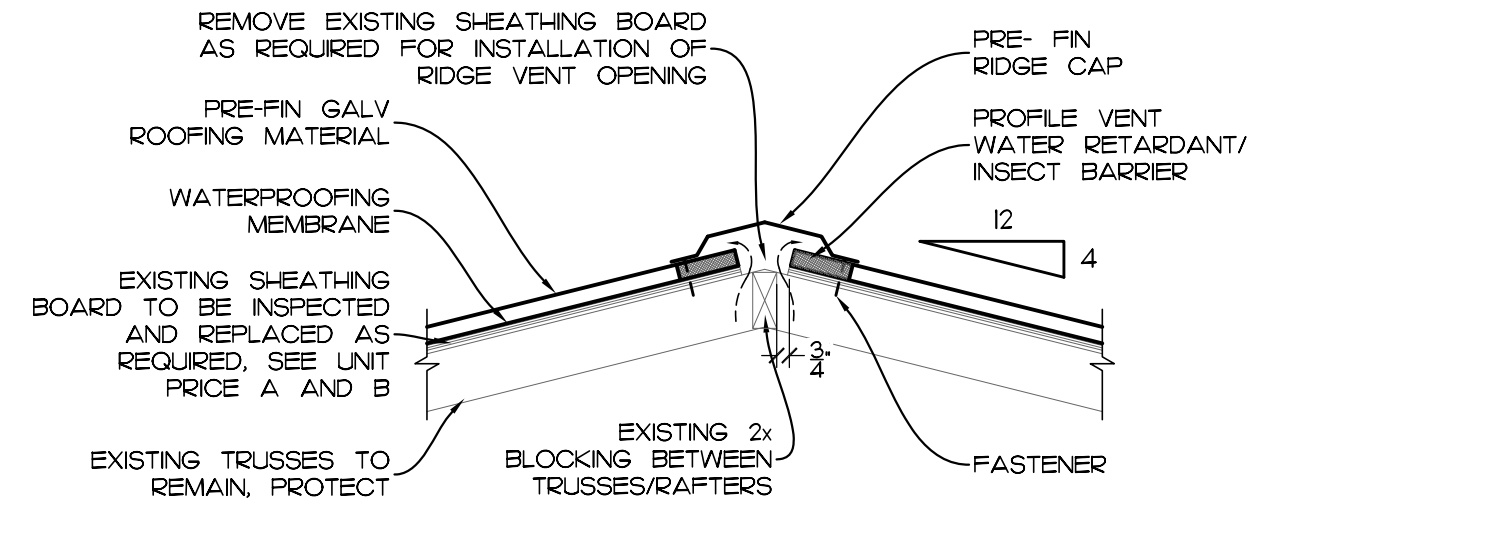
**GUTTER DETAIL** (A)  
SCALE: 1" = 1'-0"



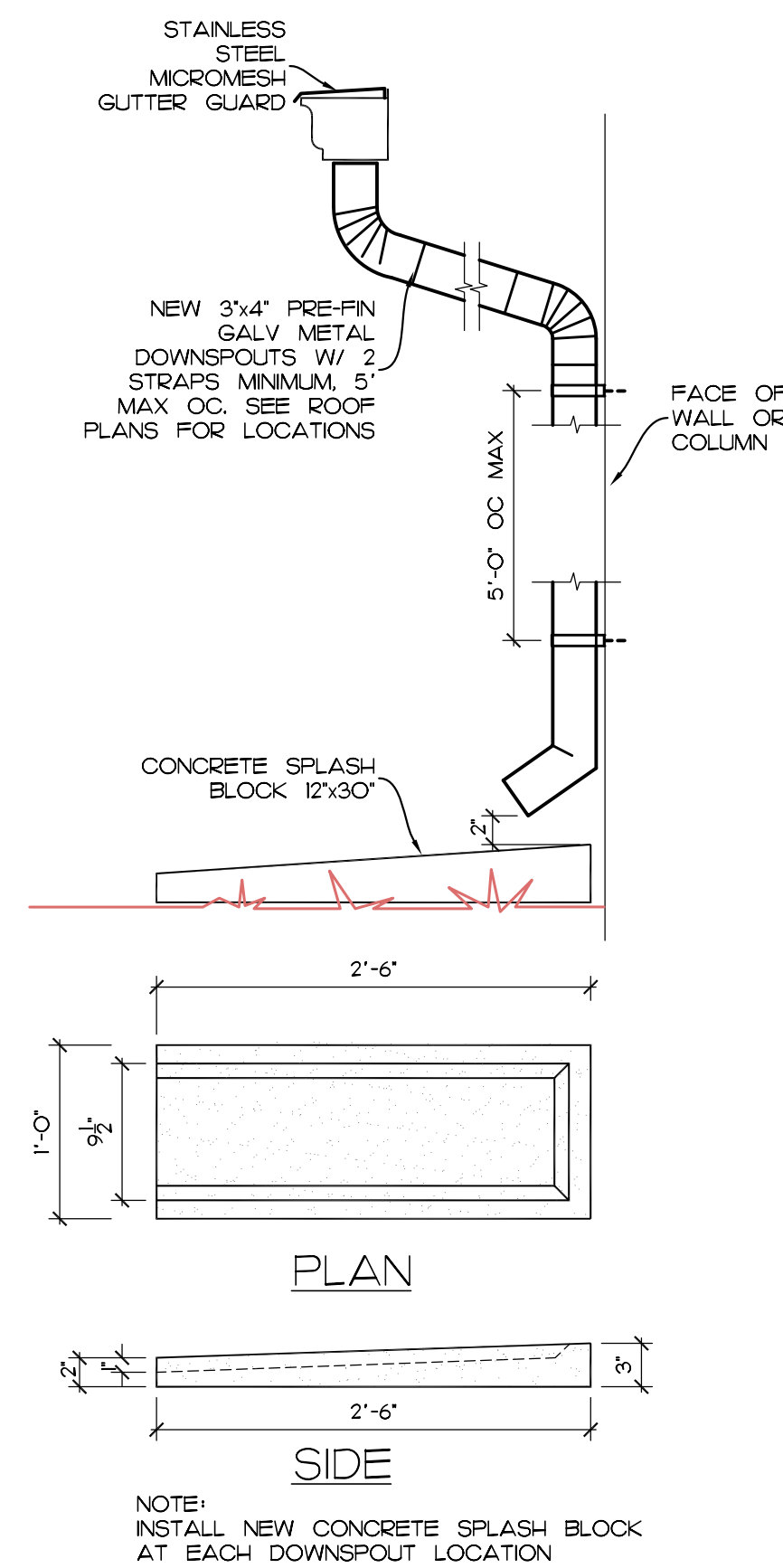
**FASCIA DETAIL** (B)  
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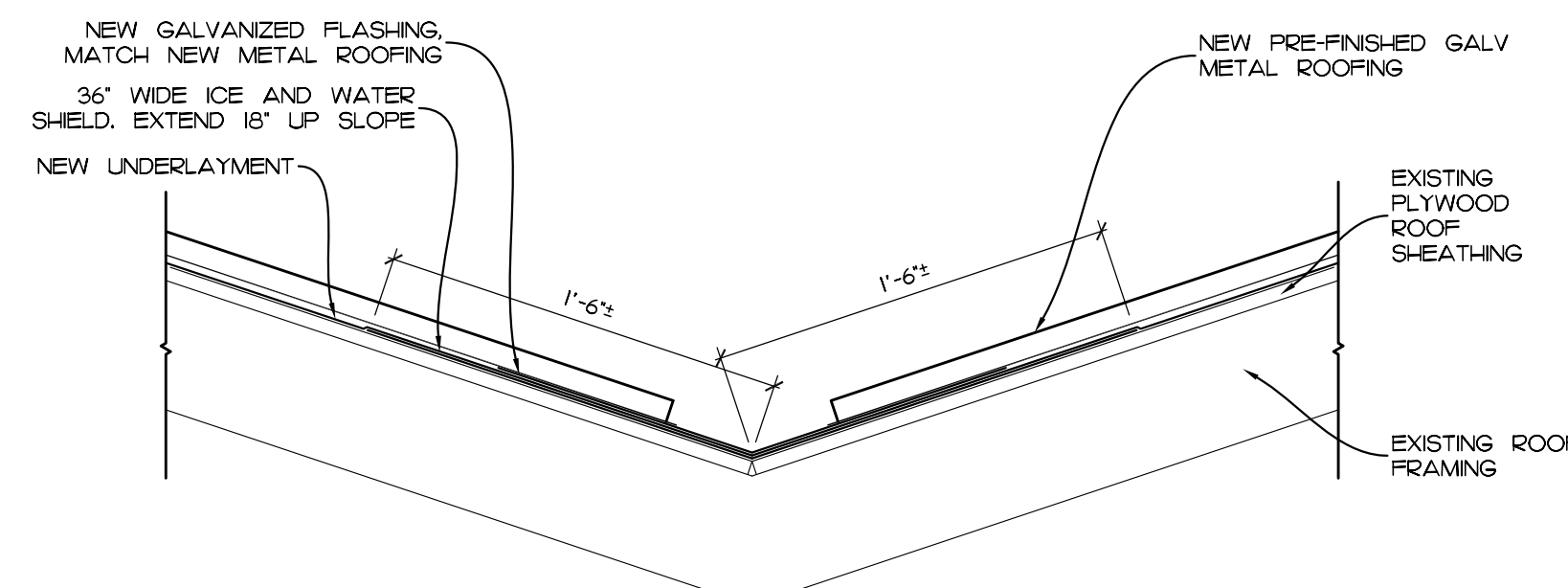
**RAKE DETAIL** (C)  
SCALE: 1" = 1'-0"



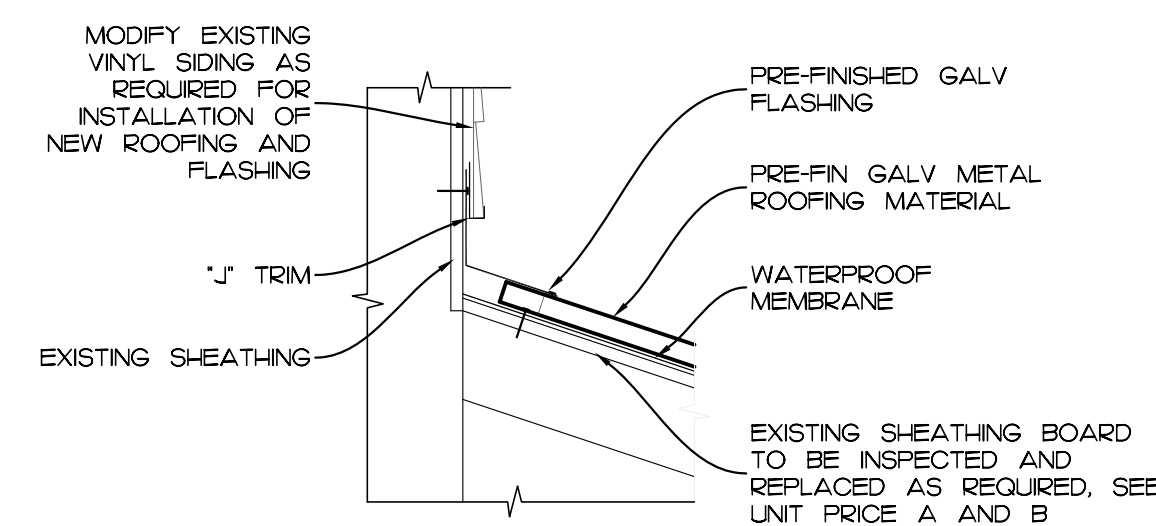
**RIDGE VENT DETAIL** (D)  
SCALE: 1" = 1'-0"



**DOWNSPOUT DETAIL** (E)  
SCALE: 1" = 1'-0"



**VALLEY DETAIL** (F)  
SCALE: 1/2" = 1'-0"



**SIDEWALL DETAIL** (G)  
SCALE: 1/2" = 1'-0"

SCOPE OF WORK	
<b>BASE BID PROJECT</b>	
REMOVE EXISTING SHINGLE ROOFING AND FELT UNDERLAYMENT, REMOVE EXISTING METAL DRIP EDGE AND EXISTING LEAD FLASHING BOOTS, REPLACE ALL DAMAGED SHEATHING BOARD (SEE UNIT PRICES 1 AND 2 WITH LIKE MATERIAL), PREP SHEATHING BOARD TO RECEIVE NEW WATERPROOFING MEMBRANE, NEW METAL DRIP EDGE, NEW FLASHING BOOTS AT ALL ROOF PENETRATIONS AND NEW METAL ROOFING SYSTEM, PROVIDE NEW CONTINUOUS RIDGE VENT, MODIFYING THE EXISTING SHEATHING BOARD AS REQUIRED. ALL ROOFING INSTALLATION SHALL STRICTLY ADHERE TO THE MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.	
<b>UNIT PRICE NOTE</b>	
CONTRACTOR SHALL INCLUDE IN THEIR BID PROPOSAL UNIT PRICE FOR THE REMOVAL AND REPLACEMENT OF DETERIORATED AND/OR DAMAGED PLYWOOD SHEATHING, NEW PLYWOOD SHEATHING SHALL MATCH EXISTING THICKNESS, SHEATHING SHALL BE NAILED IN STRICT ACCORDANCE WITH THE FLORIDA BUILDING CODE. (CURRENT ADDITIONS), TWO UNIT COSTS FOR PLYWOOD SHEATHING SHALL BE PROVIDED:	
A. 1/2" PLYWOOD SHEATHING B. 5/8" PLYWOOD SHEATHING	
OWNER SHALL VERIFY AND APPROVE QUANTITY OF WORK TO BE DONE.	
C. REMOVE EXISTING METAL WRAP OVER EXISTING WOOD EAVE AT PERIMETER OF ROOF, REPLACE ANY ROTTEN WOODEN FASCIA, AND PREP TO RECEIVE NEW METAL WRAP. ALUMINUM METAL FASCIA SHALL BE COATED ON BOTH SIDES WITH A HIGH PERFORMANCE PAINT SYSTEM. COLOR SHALL BE SELECTED BY ARCHITECT FROM MANUFACTURER STANDARD COLORS. METAL SHALL BE .024" THICK ALUMINUM. PROVIDE PRICE PER UNIT.	

GENERAL NOTES	
1	EXISTING PLUMBING VENT, PROVIDE NEW BOOTS, FIELD VERIFY NUMBER AND LOCATIONS, EXTEND PLUMBING VENT AS REQUIRED TO OBTAIN 6" OF RISE ABOVE NEW ROOF
2	EXISTING WINDOWS (PROTECT)
3	EXISTING DOORS (PROTECT)
4	EXISTING BRICK (PROTECT)
5	EXISTING EXHAUST FLE, INSTALL NEW THERMAL RATED BOOTS AND CAPS, FIELD VERIFY NUMBER AND LOCATIONS
6	PROVIDE NEW METAL ROOFING, SEE BASE BID AND SPECIFICATIONS
7	RIDGE VENT, CONTINUOUS (MATCH ROOFING MATERIAL)
8	NEW METAL DRIP (BASE BID)
9	TRIM EXISTING ROOF SHEATHING (AS REQUIRED) AND PROVIDE AND INSTALL CONTINUOUS RIDGE VENT, RIDGE VENT SHALL BE APPROPRIATE FOR THE ROOFING SYSTEM USED (SEE SPECIFICATIONS)
10	EXISTING COLUMN TO REMAIN, PROTECT
11	DEMO/REMOVE EXISTING GUTTERS AND DOWNSPOUTS (AND PVC DOWNSPOUTS) AND REPLACE WITH NEW GUTTERS, DOWNSPOUTS AND SPLASH BLOCKS. LENGTH OF GUTTER IS INDICATED ON THE DRAWINGS. PROVIDE GUTTER GUARDS WITH STAINLESS STEEL MICROMESH COVER ON ALL GUTTERS. GUTTER GUARD BASIS OF DESIGN WWW.LEAFFILTER.COM
12	EXISTING GAS WATER HEATER TO REMAIN, PROTECT.
13	EXISTING TV SATELLITE DISH TO REMAIN, PROTECT, FIELD VERIFY ALL LOCATIONS. CONTRACTOR SHALL WORK AROUND EXISTING TV SATELLITE DISH. UNINSTALL AS REQUIRED FOR INSTALLATION OF ROOF PANELS. DO NOT NOTCH END OF ROOF PANS TO ACCOMMODATE EXISTING SATELLITE DISH.
14	PRESSURE WASH EXISTING FASCIA SCHEDULED TO REMAIN, EXISTING SOFFIT, AND EXISTING LAP SIDING AND VENT ON GABLE ENDS. PRESSURE WASH EXISTING CONCRETE TE BEAM AT TOP OF WALL, PROTECT ALL EXISTING EXTERIOR LIGHT FIXTURES, WATER HEATERS, PLUMBING, TELEPHONE CABLES, COAXIAL CABLES, ETC.
15	EXISTING EXHAUST DUCT ROOF CAP, MODIFY AND EXTEND VENT 6" ABOVE ROOF DECK. PROVIDE NEW FLASHING/WATERPROOFING, INSTALL EXISTING VENT CAP ON EXTENDED VENT DUCTS.
16	EXISTING ELECTRICAL WEATHER HEAD, PROTECT. PROVIDE NEW BOOT, FIELD VERIFY LOCATION

GENERAL ROOFING NOTES	
1	IF VENT PIPES, PLUMBING WASTE AND/OR HEATER FLUE NEED TO BE OFFSET FOR ANY REASON THE OFFSET MAY BE NO MORE THAN 2" (OR DIA OF PIPE) WITH NO MORE THAN A 1/8 BEND
2	ALL FLUES / ROOF PENETRATIONS MUST BE VERTICAL (PLUMB IN BOTH DIRECTIONS) AT THE END OF THE PROJECT AND AT THE TIME OF THE FINAL INSPECTION, IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO INSURE ALL FLUES AND VENTS ETC., ARE ATTACHED WHEN FINISHED
3	REATTACH ANY LOOSE FASCIA PRIOR TO INSTALLATION OF NEW DRIP AND RAKE TRIM, REMOVE AND REINSTALL EXISTING FASCIA WRAP AS REQUIRED TO ATTACH FASCIA, FASCIA AND RAKE TRIM ATTACHMENT TO BE CONCEALED BY NEW RAKE TRIM/DRIP EDGE.
4	THE HORIZONTAL DIMENSIONS SHOWN ON ROOF PLANS ARE FROM FACE OF FASCIA TO FACE OF FASCIA AND ARE FOR GENERAL USE ONLY, THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THESE EXISTING BUILDING DIMENSIONS SHOWN, THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL THE EXISTING BUILDING DIMENSIONS, CONDITIONS AND QUANTITIES BEFORE THE BID DATE AND BASE THEIR BID ON THEIR ACTUAL FIELD DIMENSIONS, CONDITIONS AND QUANTIES.
5	CONTRACTOR SHALL FIELD VERIFY ROOF SLOPE PRIOR TO BID DATE AND/OR ORDERING ANY MATERIALS
6	CONTRACTOR SHALL FIELD VERIFY/LOCATE ELECTRICAL MAST AND WIRING AT ALL BUILDINGS AND PROTECT DURING CONSTRUCTION.
7	CONTRACTOR SHALL FIELD VERIFY/LOCATE SATELLITE DISHES) ATTACHED TO THE BUILDING VIA MOUNTING POST OR BY OTHER MEANS AT ALL BUILDINGS AND PROTECT DURING CONSTRUCTION.
8	CONTRACTOR SHALL REPAIR ALL AREAS OF THE SITE DAMAGED DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO RUTS, GRASS, CONCRETE, FENCING, ETC., AND BRING TO LIKE NEW CONDITION
9	CONTRACTOR SHALL POLICE GROUNDS AROUND EACH HOUSING UNIT & REMOVE ALL CONSTRUCTION DEBRIS INCLUDING NAILS & SCREWS.

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**CRG**  
CRG ARCHITECTS / PALATKA, INC.  
216A ST. JOHNS AVE.  
PALATKA, FL 32177  
A A 0 0 0 2 6 0 4  
P. 386-325-0213  
F. 386-328-1401

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ROOFING DETAILS

RE-ROOFING AT NORTHSIDE HOMES  
PALATKA HOUSING AUTHORITY  
PALATKA, FL.

Seal/Signature:

Date: 1-6-25  
Scale: AS NOTED  
Drawn: JCK  
Job: 06203  
Sheet:

**A-2.0**  
8 Of 8 Sheets

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